

**VILLAGE OF NEW GLARUS
PLAN COMMISSION MEETING AGENDA
Village Hall Board Room
319 2nd St.
4/19/2023 6:30 PM**

REGULAR MEETING

1. Call to Order
2. Approval of Agenda
3. Approval of Minutes –March 15, 2023
4. Consideration/Discussion: New Glarus Middle & High School Addition Site Plan, 1701 2nd Street
5. Set next meeting date for Wednesday, May 17
6. Adjournment

Roger Truttmann, Chair
Village Plan Commission

POSTED:

N.G. Village Hall 4/14/23
N.G. Post Office 4/14/23
Bank of New Glarus 4/14/23



Kelsey A. Jenson, Clerk

PURSUANT TO APPLICABLE LAW, NOTICE IS HEREBY GIVEN THAT A QUORUM OR A MAJORITY OF THE NEW GLARUS VILLAGE BOARD TRUSTEES MAY ATTEND THIS MEETING. INFORMATION PRESENTED AT THIS MEETING MAY HELP FORM THE RATIONALE BEHIND FUTURE ACTIONS THAT MAY BE TAKEN BY THE NEW GLARUS VILLAGE BOARD.

PERSONS REQUIRING ADDITIONAL SERVICES TO PARTICIPATE IN A PUBLIC MEETING MAY CONTACT THE VILLAGE CLERK FOR ASSISTANCE AT 527-2510

**VILLAGE OF NEW GLARUS
PLAN COMMISSION MEETING MINUTES
Village Hall Community Room
319 2nd Street
March 15, 2023 6:30 PM**

REGULAR MEETING CALL TO ORDER: Chair Roger Truttman, called regular meeting to order at 6:34 p.m.

PRESENT: Roger Truttman, Bekah Stauffacher, Chuck Phillipson, Beth Alderman, & Suzi Janowiak

ALSO PRESENT: Village Administrator Lauren Freeman

APPROVAL OF AGENDA: Motioned by Beth Alderman, seconded by Chuck Phillipson. Motioned carried unanimously 5-0.

APPROVAL OF MINUTES FROM 1.25.23: Motioned by Bekah Stauffacher, seconded by Chuck Phillipson. Motioned carried unanimously 5-0.

CONSIDERATION/DISCUSSION:

New Glarus Brewery Company Warehouse Addition Site Plan, 2400 WI-69. After discussion, motion to approve with stipulations outlined in the Village Engineer's memo by Beth Alderman, seconded by Bekah Stauffacher. Motion carried 5-0.

Set next meeting date for Wednesday, April 19.

ADJOURN: The meeting was adjourned at 6:42 p.m.

-Lauren Freeman
Village Administrator



April 12, 2023

Ms. Lauren Freeman, Village Administrator
Village of New Glarus
319 Second Street
New Glarus, WI 53574

Re: New Glarus Middle and High School
Site Review Letter
Village of New Glarus, Wisconsin (Village)

Dear Lauren,

Strand Associates, Inc.® (Strand) received the following information on April 6, 2023, for the above-referenced project:

1. New Glarus Middle and High School Drawings–Dated March 11, 2021 (consisting of 71 sheets).
2. Wisconsin Department of Safety and Professional Services, Conditional Approval–Dated June 7 2022.

The following are Strand’s review comments based on the information provided.

General

1. The total land disturbance for the project is approximately 9,900 square feet, and there is an increase of approximately 1,350 square feet of impervious area. Because the land disturbance exceeds 4,000 square feet, the applicant is required to obtain a Construction Site Erosion Control Permit from the Village. No Village erosion control permit application or checklist was included with the submittal. Review of the submitted erosion control plan drawing indicates that adequate erosion control measures are being provided for the project. Note that because the increase in impervious surface is less than 20,000 square feet, the applicant is not required to obtain a Village Stormwater Management Permit. Given that the land disturbance for the project is less than 43,560 square feet (1 acre), the applicant is not required to obtain Notice of Intent stormwater and erosion control permit coverage through the Wisconsin Department of Natural Resources.
2. The stormwater utility account for parcel 2316108050000 should have its total Equivalent Runoff Unit (ERU) total increased from 71.7 to 72.1 ERUs because of the increase of impervious area.

Sheet No. C4.0–Erosion Control and Utility Plan

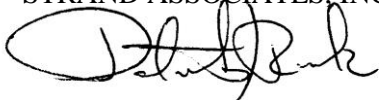
It is recommended that the invert elevation of the 10-inch storm sewer outfall pipe EW#1 be lowered 1 foot to elevation 870.0 to provide adequate pipe cover where the pipe passes below the asphalt driveway.

Ms. Lauren Freeman, Village Administrator
Village of New Glarus
Page 2
April 12, 2023

Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in black ink, appearing to read "Patrick J. Rank". The signature is written in a cursive style with a large, prominent initial "P".

Patrick J. Rank, P.E.

FEE: \$100. pd. 4-11-23
PLUS COSTS

VILLAGE OF NEW GLARUS
APPLICATION FOR SITE PLAN APPROVAL

SUBMITTAL DATE: 4-11-23

APPLICANT NAME: New Glarus School District
ADDRESS: 1701 2nd Street
TELEPHONE: (608) 527-2410

SITE ADDRESS: 1701 2nd Street

DESCRIPTION OF SITE BY LOT, BLOCK AND RECORDED SUBDIVISION OR
BY METES & BOUNDS: High School Addition

TYPE OF STRUCTURE: Current: High School
Proposed: High School Addition - Tech Ed

PROPOSED OPERATION OR USE OF THE STRUCTURE OR SITE: School

AND NUMBER OF EMPLOYEES: 75

PRESENT ZONING OF SITE: _____

NOTICE TO APPLICANT:

ATTACH A DRAWING SHOWING ALL OF THE INFORMATION REQUIRED FOR A BUILDING/ZONING PERMIT AND EXISTING AND PROPOSED LANDSCAPING.

ACTUAL COSTS BILLED FOR VILLAGE CONSULTANTS WILL BE THE RESPONSIBILITY OF THE APPLICANT.

APPEALS. DENIALS OF BUILDING PERMITS CONTINGENT UPON SITE PLAN APPROVAL MAY BE APPEALED TO THE ZONING BOARD OF APPEALS BY FILING A NOTICE OF APPEAL WITH THE VILLAGE CLERK-TREASURER WITHIN 10 DAYS OF THE DENIAL

[Signature]
Applicant Signature

Owner Signature if different

PRESENTED TO BUILDING INSPECTOR: 4/6/23
REFERRED TO PLAN COMMISSION: 4/13/23
PLAN COMMISSION REVIEW: 4/19/23

DETERMINATION: APPROVE DENY DATE: _____

Village Plan Commission Chairman

REFERRED TO VILLAGE BOARD: _____

DETERMINATION: REVERSE AFFIRM ALTERED
DATE: _____

IF ALTERED, HOW ALTERED: _____

Village President

SITE REVIEW APPLICATION GUIDELINE

YES	NO	N/A	
_____	_____	_____	A certified survey that meets the requirements of the Municipal code shall accompany the application
_____	_____	_____	Sewer and water plans and underground electric and telephone service location be submitted for Public Works review
_____	_____	_____	Maximum number of employees, customers and office vehicles that would be at the facility at any one time. (To determine off street parking requirements.)
_____	_____	_____	Existing zoning district designation identified on plan.
_____	_____	_____	Intended land use of parcel(s)
_____	_____	_____	Surrounding land use and zoning, shown by contiguous drawing
_____	_____	_____	Applicable zoning regulations been discussed with Building Inspector and necessary instruments been initiated, filed, applied for.
_____	_____	_____	Are streets which are nearby adequate to handle additional traffic flow
_____	_____	_____	Is the proposed parcel(s) near collector or arterial roads
_____	_____	_____	Is Department of Transportation Approval needed to service this parcel(s)
_____	_____	_____	Is the parcel(s) large enough to accommodate required off-street parking
_____	_____	_____	Are the physical characteristics of the site (soil, topography, vegetation) suitable to permit the proposed development without causing drainage, erosion or other problem
_____	_____	_____	Is the use consistent with the Village of New Glarus Master Plan and zoning district
_____	_____	_____	Does this request require review by the Historical Preservation Committee or Design Review Committee
_____	_____	_____	SITE PLAN: that includes all of the following information, where applicable:
_____	_____	_____	Location plan/sketch, exterior, 10 copies (building foot print)
_____	_____	_____	Dwelling unit information (over 2 dwelling units), if residential, showing; * total number of buildings and units in each building * distribution by number of bedrooms
_____	_____	_____	Lot area information showing total lot area
_____	_____	_____	Wetland delineation
_____	_____	_____	Flood plain delineation
_____	_____	_____	Roads, traffic and access - future road improvement plans
_____	_____	_____	First floor grade of proposed building
_____	_____	_____	Elevations on pavement and top of curb
_____	_____	_____	Layout and number of parking spaces and type of surface
_____	_____	_____	Landscaping and type of lawn restoration (submittal of a landscape plan)
_____	_____	_____	Sediment and erosion control measures
_____	_____	_____	Storm water management
_____	_____	_____	Have property owners within 100' been notified of proposed project

CHECKLIST FOR SITE PLAN APPROVAL APPLICATION

Completed site plan approval application must be submitted to Village Clerk's Office, along with fee and other requirements outlined by checklist.

Applications must be received 21 days prior to the Plan Commission meeting in order to be placed on the Plan Commission agenda. The Plan Commission meets the 3rd Thursday of each month.

The application will be placed on agenda only after the completed form, fee and supporting documentation have been filed with the Village Clerk's Office. The application shall be reviewed by the Building Inspector who shall forward his review and findings to the Plan Commission. The Plan Commission will make recommendation to the Village Board who will make the final determination on the application.

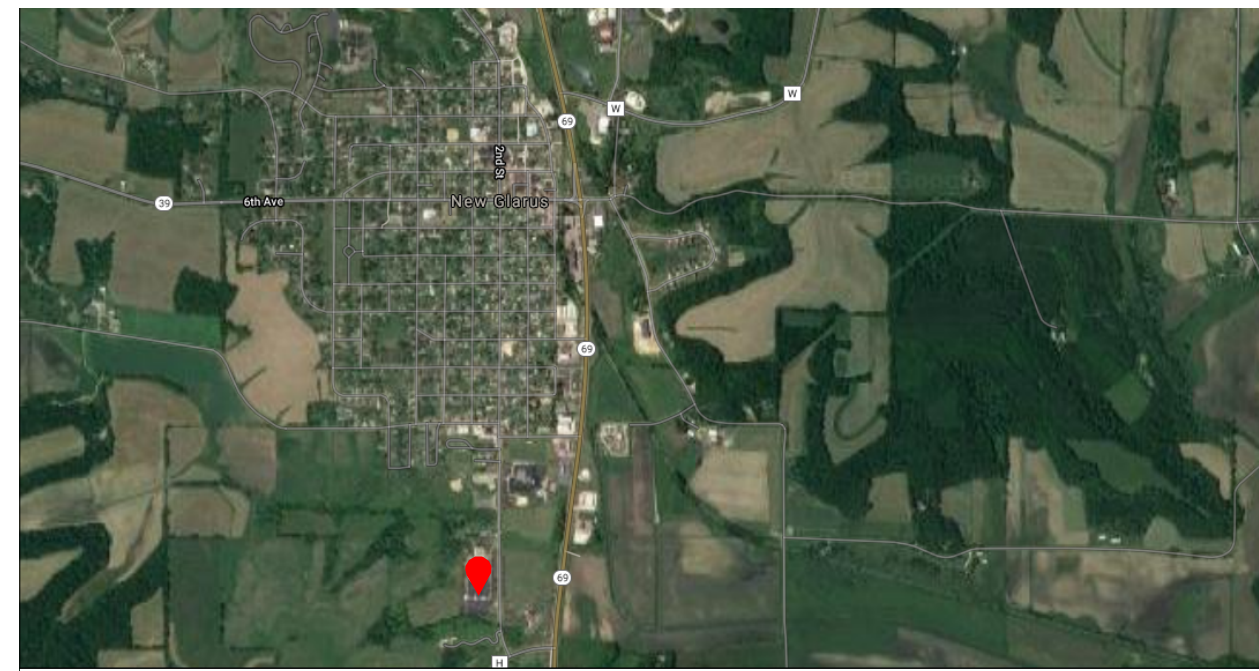
Required Items:

- X 1. Completed site plan approval application.
- X 2. Scale drawing showing all the information required for a building/zoning permit and existing and proposed landscaping (see attached municipal code for requirements). **Provide 15 copies.**
- X 3. Completed Site Review Application Guideline
- X 4. Fee of \$100.00 (Resolution R10-24) **NOTE:** Actual costs billed for village consultants will be the responsibility of the applicant.

Rev. 1/2016

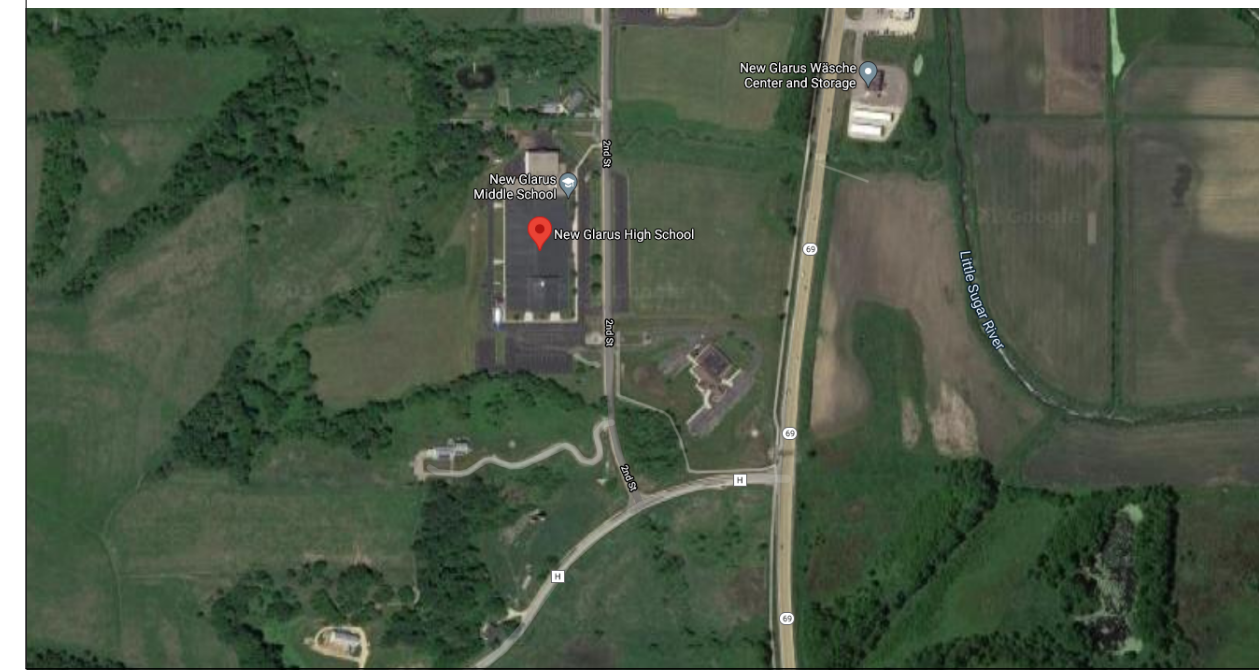


CONCEPTUAL RENDERING - NOT FOR CONSTRUCTION



Regional Map

Scale: Not To Scale



Local Map

Scale: Not To Scale



Consultants

Civil

Point of Beginning, Inc.
4941 Kirschling Court
Stevens Point, WI 54481
Phone: (715) 344.9999
FAX: (715) 344.9922

Landscape

Point of Beginning, Inc.
4941 Kirschling Court
Stevens Point, WI 54481
Phone: (715) 344.9999
FAX: (715) 344.9922

Structural

Ambrose Engineering, Inc.
W66 N215 Commerce Ct., Suite #100
Cedarburg, WI 53012
Phone: (262) 377-7602
FAX: (262) 377-4868

Plumbing

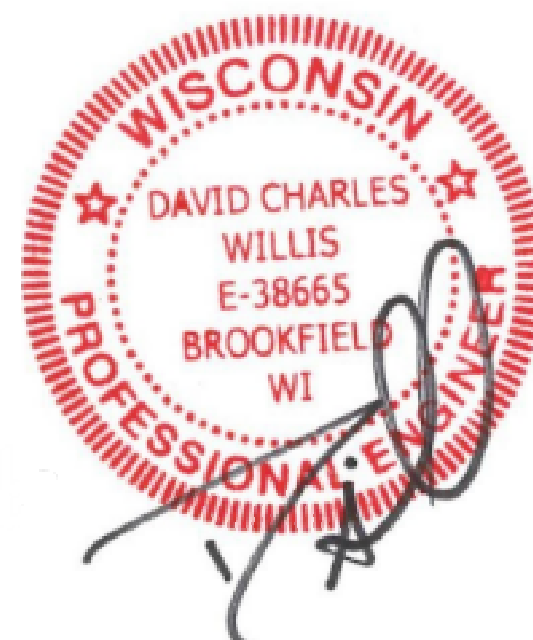
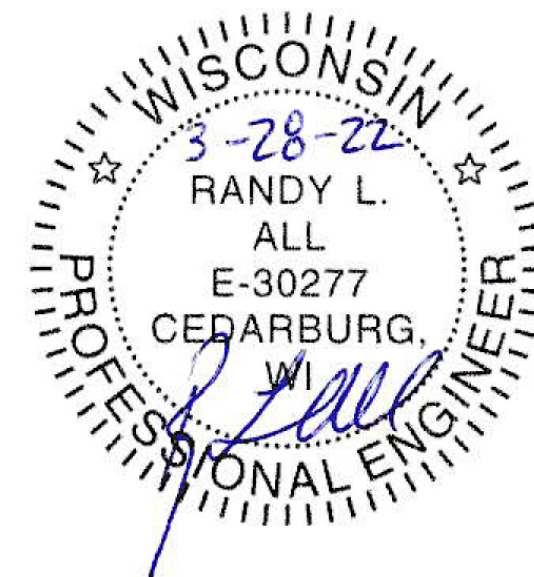
MSA Professional Services, Inc.
220 East Buffalo Street
Suite 201
Milwaukee, WI 53202
Phone: (414) 296-4333

HVAC

Fredericksen Engineering
12308 Corporate Parkway, Suite 400
Mequon, WI 53092
Phone: (262) 243-9090
FAX: (262) 243-9233

Electrical

MSA Professional Services, Inc.
321 N. Main Street
Suite 103
West Bend, WI 53095
Phone: (262) 247-8110



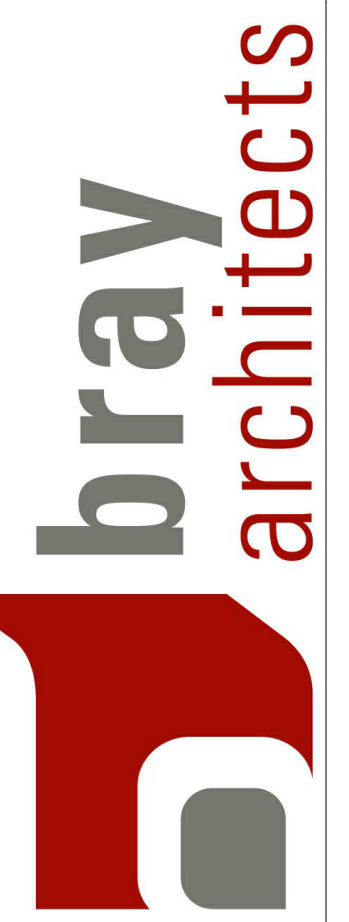
ADDITION & RENOVATION TO: NEW GLARUS MIDDLE & HIGH SCHOOL

New Glarus School District
1701 2nd Street, New Glarus, WI 53574

100% CONSTRUCTION DOCUMENTS 12/12/2022

DRAWING INDEX

GENERAL INFORMATION		HVAC	
G0.0	COVER SHEET	H0.1	SCHEDULES
G0.1	CODE REVIEW	H1.1	FIRST FLOOR DUCTWORK PLANS - UNITS A & B
ARCHITECTURAL - GENERAL		H1.2	ROOF PLAN - UNIT A
AG1.0	GENERAL NOTES & TYPICAL MOUNTING HEIGHTS	H2.1	FIRST FLOOR PIPING PLAN
AG2.0	WALL TYPES	H3.0	DETAILS
AG3.0	SAFETY & SECURITY	HD1.1	FIRST FLOOR DEMOLITION PLANS - UNITS A & B
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C1.0	DEMOLITION PLAN	E1.0	OVERALL PLAN - ELECTRICAL
C2.0	LAYOUT PLAN	E1.1L	FIRST FLOOR - UNITS A & B - LIGHTING
C3.0	GRADING PLAN	E1.1P	FIRST FLOOR - UNITS A & B - POWER
C4.0	EROSION CONTROL & UTILITY PLAN	E2.0	FIRE ALARM
C5.0	DETAILS	E2.1	FIRE ALARM DETAILS
STRUCTURAL		E2.2	KEYLESS ENTRY & CCTV
S0.1	GENERAL NOTES AND ABBREVIATIONS	E3.0	ONE LINE, SCHEDULES, & SYMBOLS LIST
S0.2	PROJECT SCHEDULES AND NOTES	E4.0	DETAILS
S1.1A	FOUNDATION UNIT PLAN - UNIT A	ED1.1	FIRST FLOOR - UNITS A & B - DEMOLITION
S1.3A	PLATFORM AND ROOF FRAMING UNIT PLANS - UNIT A		
S5.1	SECTIONS AND DETAILS		
S5.2	SECTIONS AND DETAILS		
S5.3	SECTIONS AND DETAILS		
S5.5	SECTIONS AND DETAILS		
ARCHITECTURAL			
AD1.0	FIRST FLOOR OVERALL DEMOLITION PLAN		
AD1.1	FIRST FLOOR DEMOLITION PLANS - UNITS A & B		
A1.1	FIRST FLOOR - OVERALL		
A1.1AB	FIRST FLOOR UNIT PLANS - UNITS A & B		
A1.3A	ROOF PLAN		
A1.3AB	REFLECTED CEILING PLANS		
A2.0	EXTERIOR ELEVATIONS & BUILDING SECTIONS		
A5.0	EXTERIOR DETAILS		
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A7.2	CASEWORK DETAILS		
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A8.0	DOOR & WINDOW SCHEDULES & TYPES		
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PLUMBING			
P0.0	GENERAL NOTES - PLUMBING		
P1.0AB	FOUNDATION PLANS - UNIT A & B		
P1.1AB	FIRST FLOOR PLANS - UNIT A & B		
P1.3AB	ROOF PLAN - UNIT A & B		
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P3.0B	ISOMETRIC DOMESTIC WATER - UNIT B		
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P3.1B	ISOMETRIC SANITARY DWV - UNIT B		
P3.2	ISOMETRIC STORM AND CLEAR WATER DWV		
P3.3	ISOMETRIC AIR AND GAS		
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P5.0	SCHEDULES		
P5.1	SCHEDULES		
PD1.0AB	FOUNDATION DEMOLITION PLANS - UNIT A & B		
PD1.1AB	FIRST FLOOR DEMOLITION PLANS - UNIT A & B		
PD1.3AB	ROOF DEMOLITION PLAN - UNIT A & B		



Milwaukee
829 South 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200
Sheboygan • Davenport • Moline
www.brayarch.com

Project Title:
**ADDITION & RENOVATION TO:
NEW GLARUS MIDDLE & HIGH SCHOOL**
New Glarus School District
1701 2nd Street, New Glarus, WI 53574

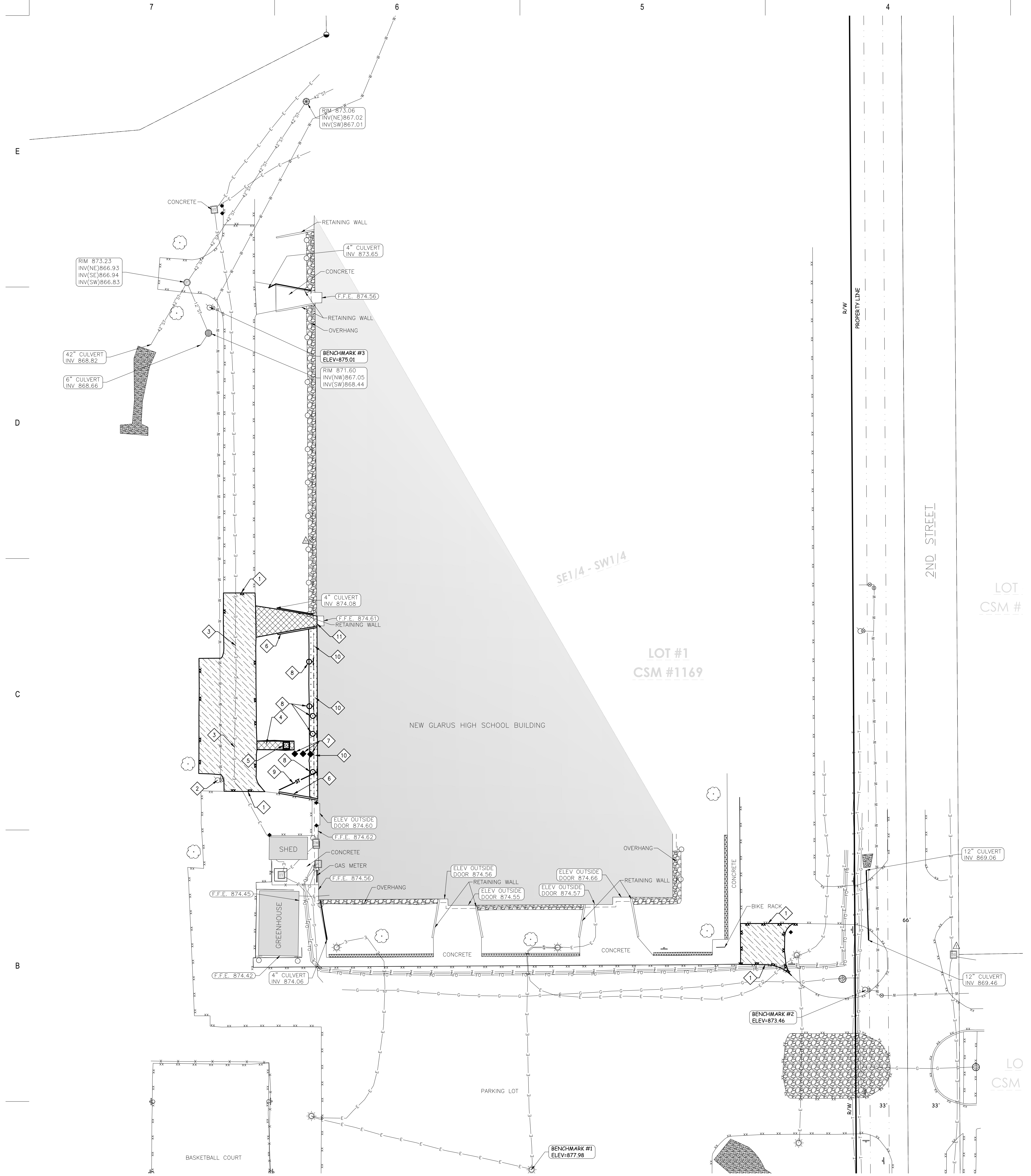
NO.	DATE	DESCRIPTION
1	12/19/22	Addendum #01

Project Number:
3388.3

Issued For:
**100%
CONSTRUCTION
DOCUMENTS**
12/12/2022

Sheet Title:
COVER SHEET

Sheet Number:
G0.0



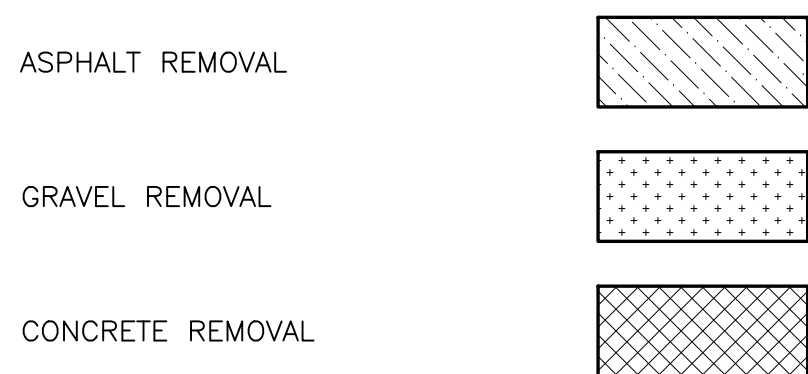
GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
4. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UTILITIES ON SITE PRIOR TO THE START OF WORK.
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.

KEYNOTES:

1. SAWCUT EXISTING ASPHALT PAVEMENT
2. MAINTAIN EXISTING FIRE HYDRANT ASSEMBLY
3. MAINTAIN EXISTING ELECTRICAL LINE
4. REMOVE EXISTING CONCRETE
5. REMOVE EXISTING DUST COLLECTOR
6. REMOVE EXISTING RETAINING WALL
7. REMOVE EXISTING POST
8. REMOVE EXISTING DOWNSPOUT
9. REMOVE EXISTING STORM SEWER PIPE
10. REMOVE EXISTING GRAVEL
11. SAWCUT CONCRETE SIDEWALK

DEMOLITION HATCH PATTERNS:



CIVIL SHEET INDEX:

Sheet Number	Sheet Title
C1.0	DEMOLITION PLAN
C2.0	LAYOUT PLAN
C3.0	GRADING PLAN
C4.0	EROSION CONTROL & UTILITY PLAN
C5.0	DETAILS

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

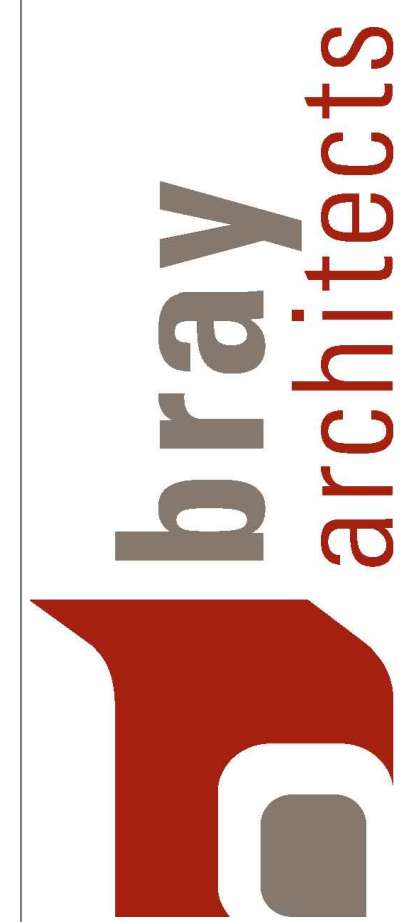
BENCHMARK #1
CORNERED SQUARE ON NORTH SIDE OF LIGHT POLE BASE.
LOCATED IN THE MIDDLE OF THE PARKING LOT.
ELEVATION = 871.98

BENCHMARK #2
FLAG BOLT OR HYDRANT
LOCATED ON THE WEST SIDE OF 2ND STREET NEAR THE ENTRANCE TO THE PARKING LOT.
ELEVATION = 873.46

BENCHMARK #3
ARROW BOLT ON HYDRANT
LOCATED ON THE WEST SIDE OF THE NEW GLARUS HIGH SCHOOL BUILDING.
ELEVATION = 875.01

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE. WITH POSSIBILITY THAT ADDITIONAL UTILITIES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.



Office Locations:
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220 Emerson Place, Suite 301
Davenport, Iowa 52801

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Sheboygan
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Landscape Architecture
Sheboygan, WI 53081
Davenport, WI 54304
Sun Prairie, WI 53590
715.344.9999 (PH) 715.344.9922 (FX)
pubinc.com



Project Title:
**SITE RENOVATIONS
NEW GLARUS HIGH SCHOOL
NEW GLARUS HIGH SCHOOL DISTRICT
NEW GLARUS, WI**

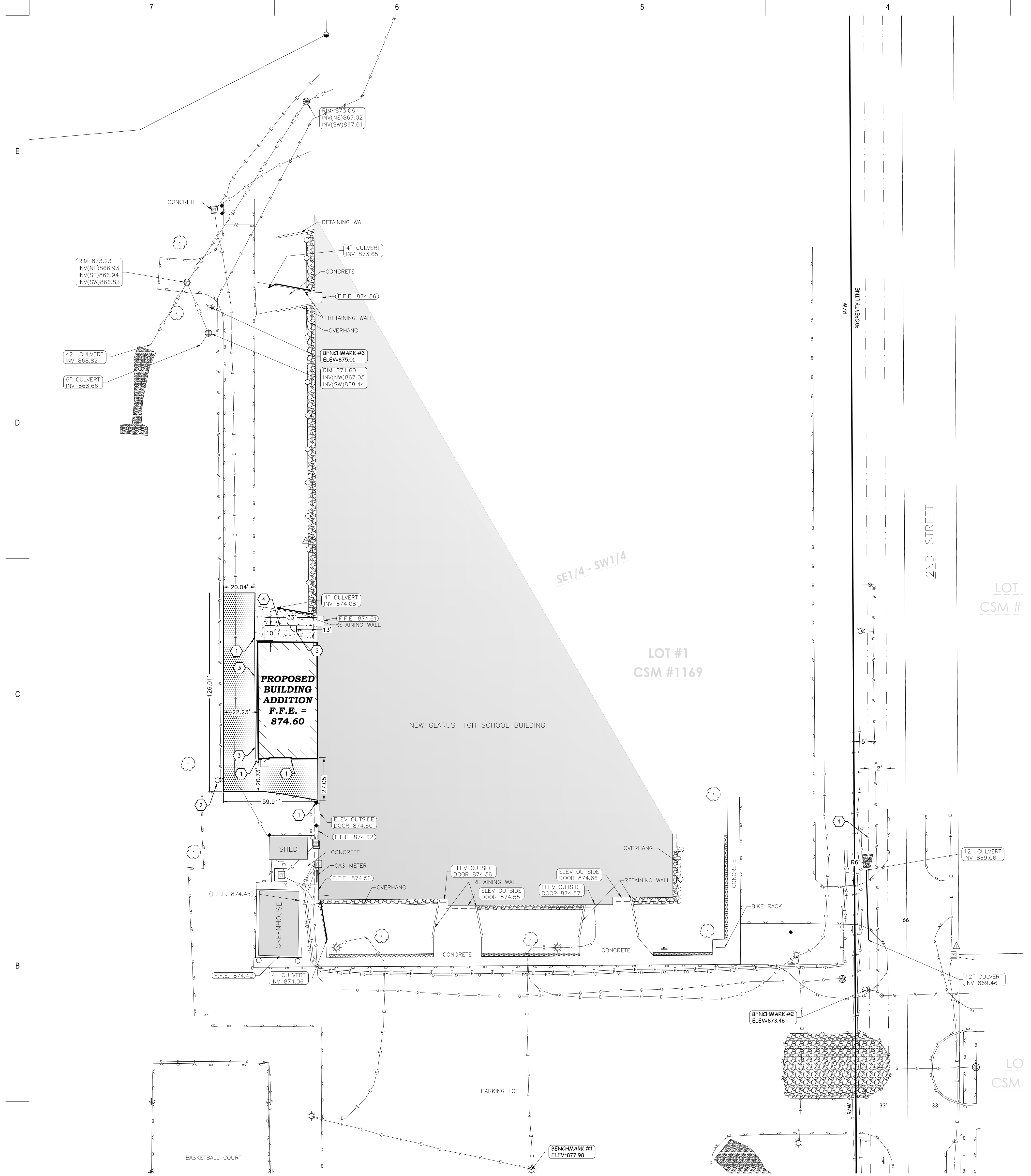
REVISIONS:

Project Number:
3388.3

Issued For:
**100%
CONSTRUCTION
PLANS**
12/12/2022

Sheet Title:
**DEMOLITION
PLAN**

Sheet Number:
C1.0



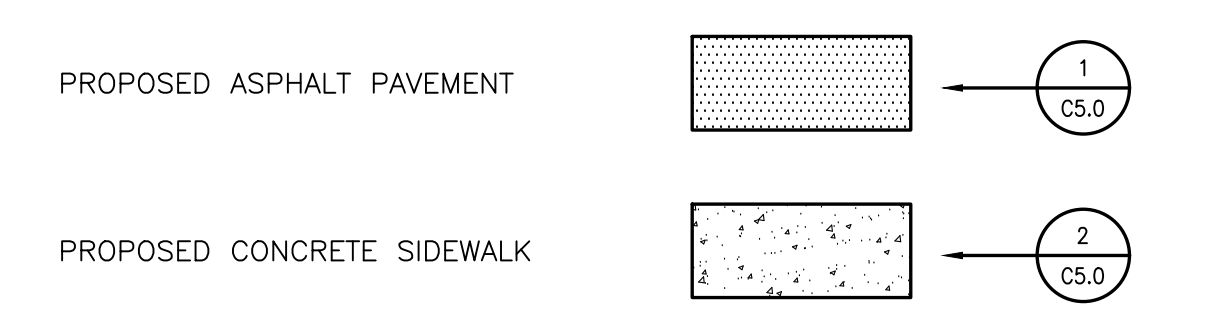
GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
3. ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
4. SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
7. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
8. PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
9. SIDEWALK JOINTS SHALL BE APPROVED BY THE CONSTRUCTION MANAGER.
10. ALL CONCRETE SAWCUTS SHALL BE AT AN EXISTING JOINT.
11. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

1. CONCRETE BOLLARD
2. MAINTAIN EXISTING FIRE HYDRANT ASSEMBLY
3. CONCRETE CURB & GUTTER
4. 6' TALL VINYL COATED CHAIN LINK FENCE
COLOR MATCH BLDG ADDITION (CHARCOAL GRAY)
5. 6' TALL VINYL COATED CHAIN LINK MAN-GATE (4' WIDE)
COLOR MATCH BLDG ADDITION (CHARCOAL GRAY)

PAVEMENT HATCH PATTERNS:



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

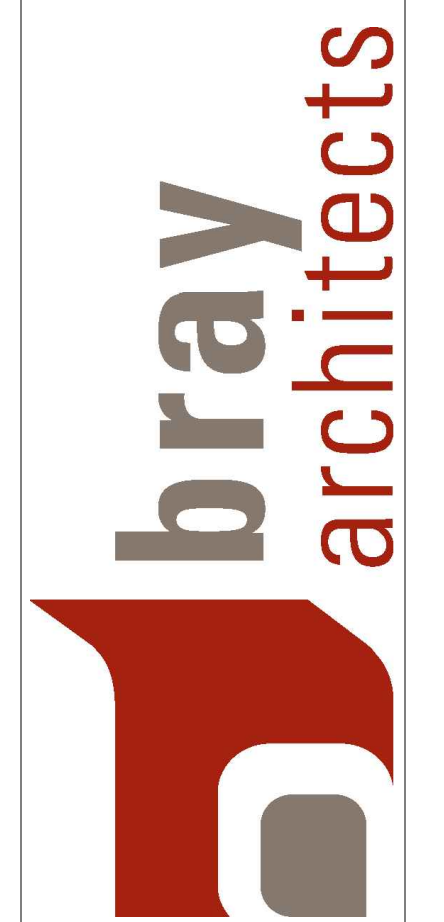
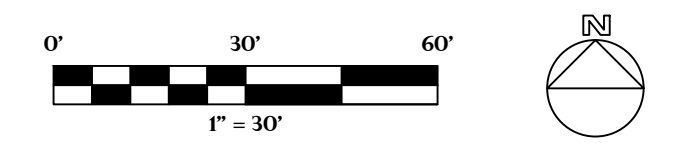
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ELEVATION = 875.01

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Project Title:
**SITE RENOVATIONS
NEW GLARUS HIGH SCHOOL
NEW GLARUS SCHOOL DISTRICT
NEW GLARUS, WI**

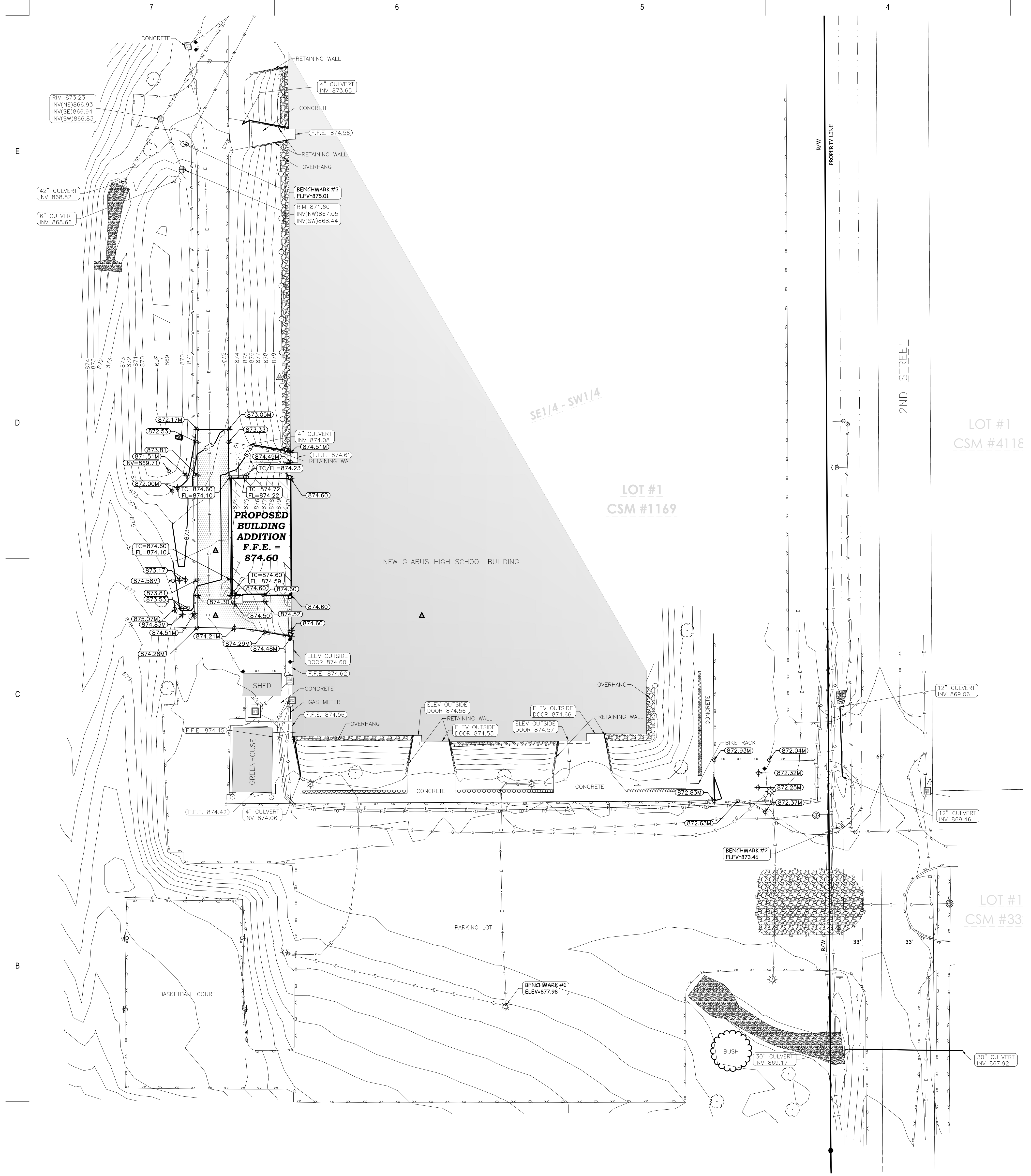
REVISIONS:

Project Number:
3388.3

Issued For:
**100%
CONSTRUCTION
PLANS**
12/12/2022

Sheet Title:
**LAYOUT
PLAN**

Sheet Number:
C2.0



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 874.60' EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT ALL CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- INSTALL WISDOT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
- EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
- THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

EXISTING CONTOUR	712
PROPOSED CONTOUR	712
PROPOSED SPOT ELEVATION	CS272.0
PROPOSED TOP OF CURB ELEVATION	CL=874.60
PROPOSED FLOW LINE ELEVATION	FL=874.50
PROPOSED INVERT ELEVATION	INV=874.50
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	CS270.5M
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	5 65.0

BENCHMARK:

- ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- BENCHMARK #1**
CRASED SQUARE ON NORTH SIDE OF LIGHT POLE BASE.
LOCATED IN THE MIDDLE OF THE PARKING LOT.
ELEVATION = 877.98
- BENCHMARK #2**
FLAG BOLT OR HYDRANT
LOCATED ON THE WEST SIDE OF 2ND STREET NEAR THE ENTRANCE TO THE PARKING LOT.
ELEVATION = 873.46
- BENCHMARK #3**
ARROW BOLT ON HYDRANT
LOCATED ON THE WEST SIDE OF THE NEW GLARUS HIGH SCHOOL BUILDING.
ELEVATION = 875.01

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Point of Beginning

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NEW GLARUS HIGH SCHOOL
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NEW GLARUS, WI**

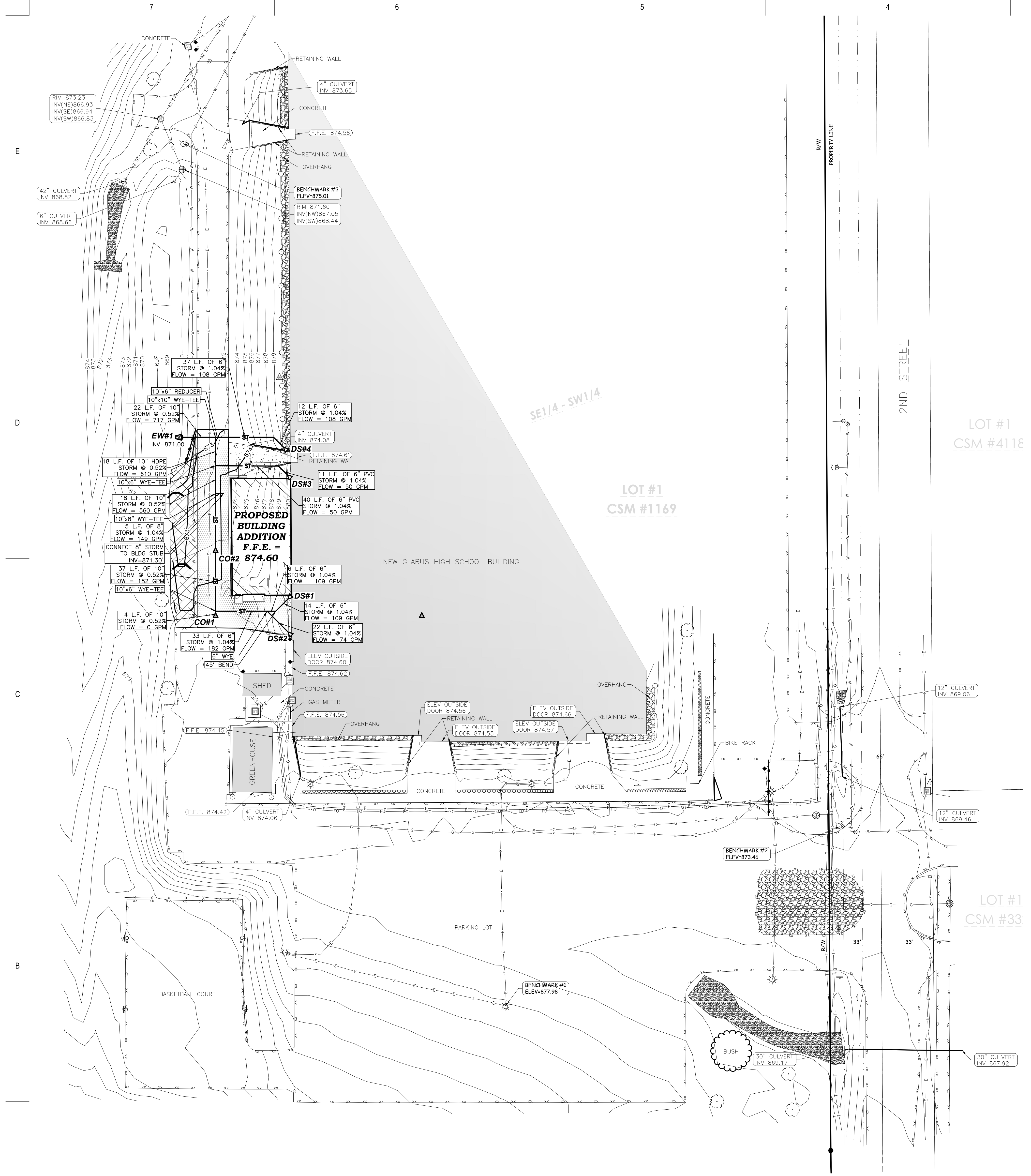
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Project Number:
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Sheet Title:
**GRADING
PLAN**

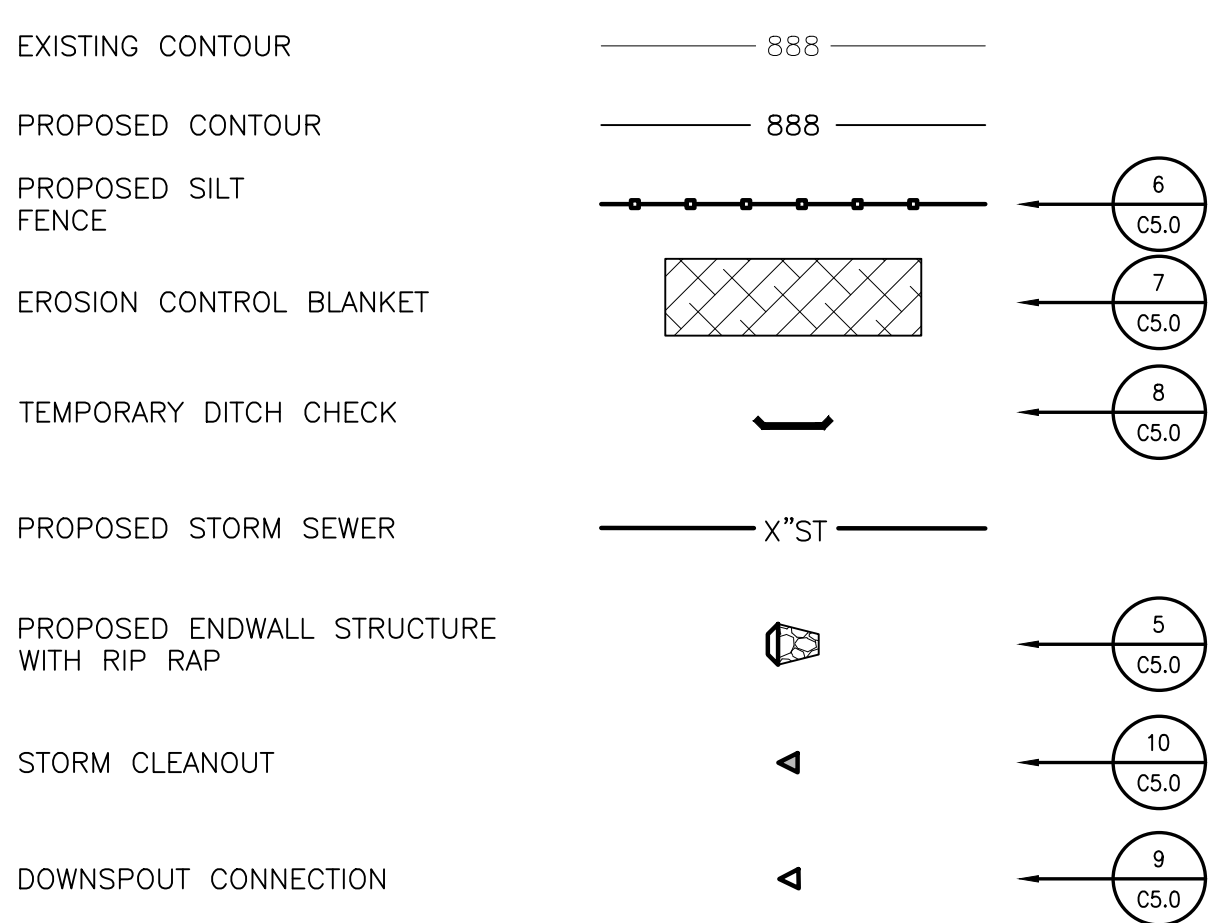
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C3.0



GENERAL NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1061 TO PREVENT SEDIMENT DISCHARGE TO THE MAXIMUM EXTENT PRACTICABLE.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- PROVIDE RIP RAP AT ALL CULVERT ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
- INSTALL WSDOT TYPE HR FILTER FABRIC BENEATH UNDER RIP RAP.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOWFALL OR GROUND FREEZE.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND IN THE CONSTRUCTION SPECIFICATIONS.
- GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS TO VERIFY EXACT CONNECTION LOCATIONS AND SIZES OF PROPOSED STORM SEWER.
- COORDINATE ALL UTILITY WORK WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- PROVIDE RIP RAP AT ALL STORM ENDWALLS TO PREVENT WASHOUT AND EROSION.
- INSTALL WSDOT TYPE HR FILTER FABRIC BENEATH PROPOSED RIP RAP.

LEGEND:



EROSION CONTROL SEQUENCING:

- INSTALL PERIMETER EROSION CONTROL
- BEGIN DEMOLITION
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

CLEAN OUT SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
CO#1	RIM = 874.42 INV (N) = 871.71
CO#2	RIM = 873.95 INV (S) = 871.49 INV (N) = 871.49

DOWNSPOUT SCHEDULE:

STRUCTURE #	STRUCTURE DETAILS
DS#1	RIM = 873.25 INV (SW) = 872.40
DS#2	RIM = 873.27 INV (NW) = 872.42
DS#3	RIM = 872.75 INV (NW) = 871.90
DS#4	RIM = 879.66 INV (NW) = 871.79

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

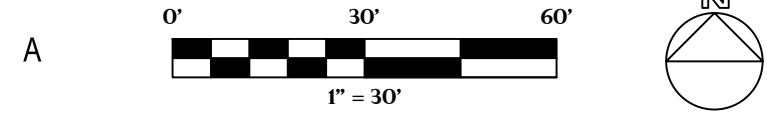
BENCHMARK #1
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LOCATED IN THE MIDDLE OF THE PARKING LOT.
ELEVATION = 877.98


BENCHMARK #2
FLAG BOLT OR HYDRANT
LOCATED ON THE WEST SIDE OF 2ND STREET NEAR THE ENTRANCE TO THE PARKING LOT.
ELEVATION = 873.46

BENCHMARK #3
ARROW BOLT ON HYDRANT
LOCATED ON THE WEST SIDE OF THE NEW GLARUS HIGH SCHOOL BUILDING.
ELEVATION = 875.01

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NEW GLARUS, WI

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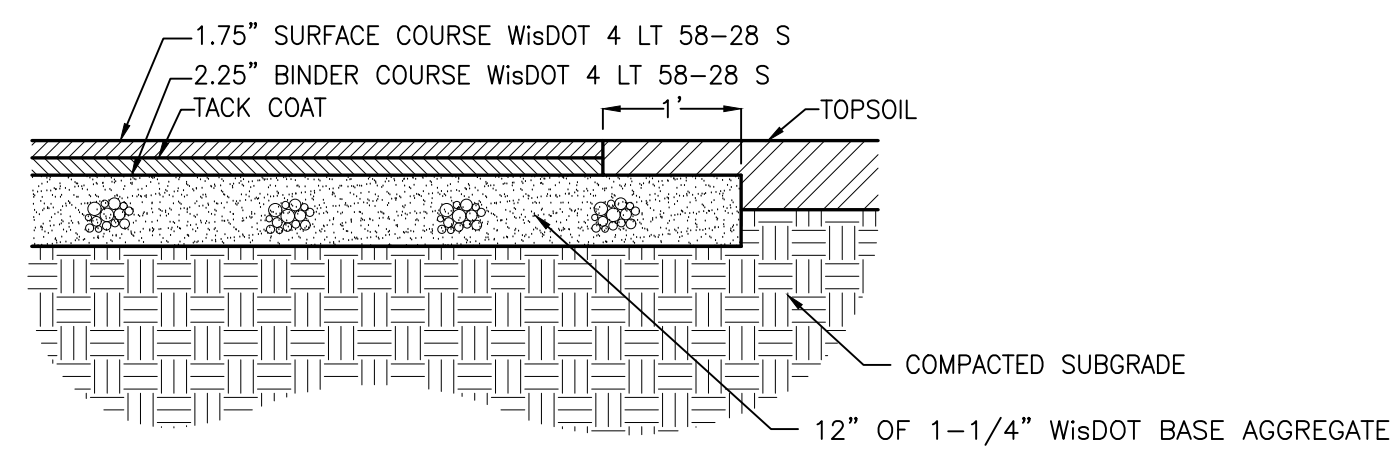
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100% CONSTRUCTION PLANS
12/12/2022

Sheet Title:
EROSION CONTROL & UTILITY PLAN

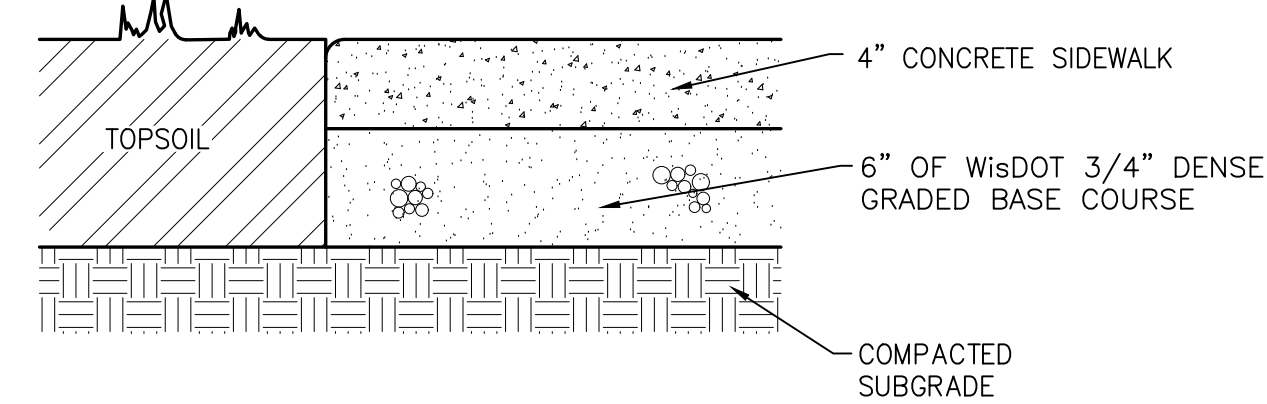
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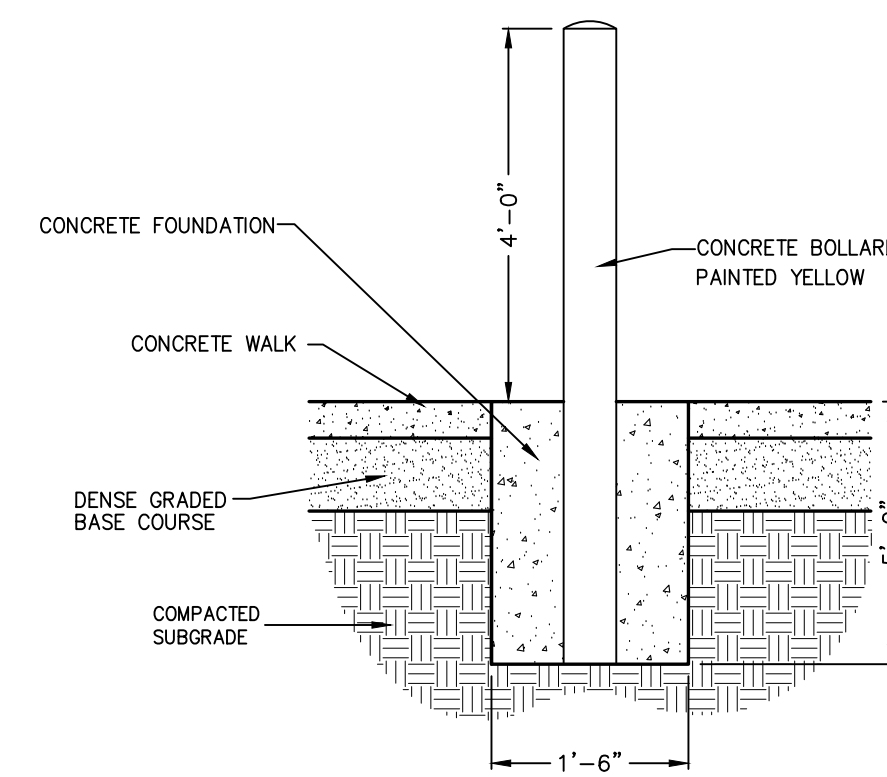
ASPHALT PAVEMENT

1
C5.0



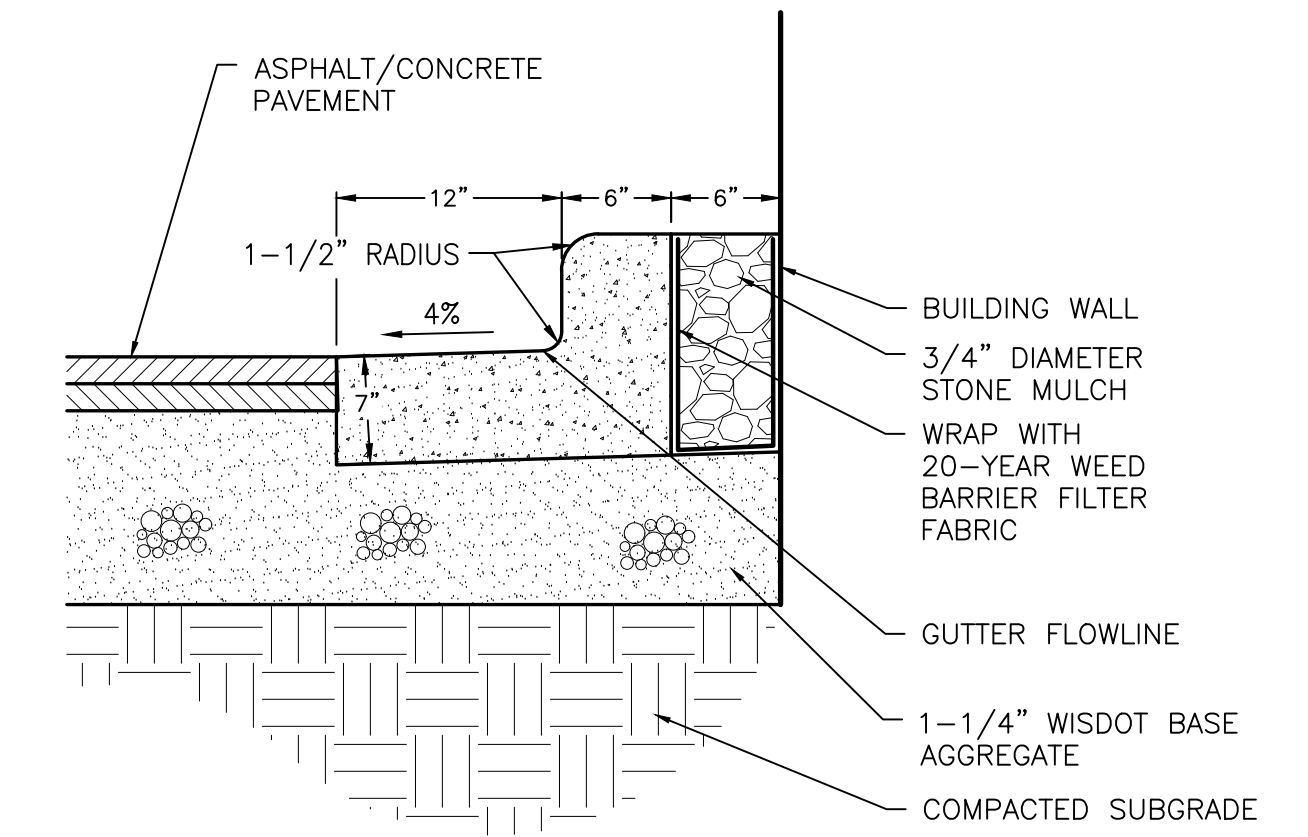
CONCRETE SIDEWALK

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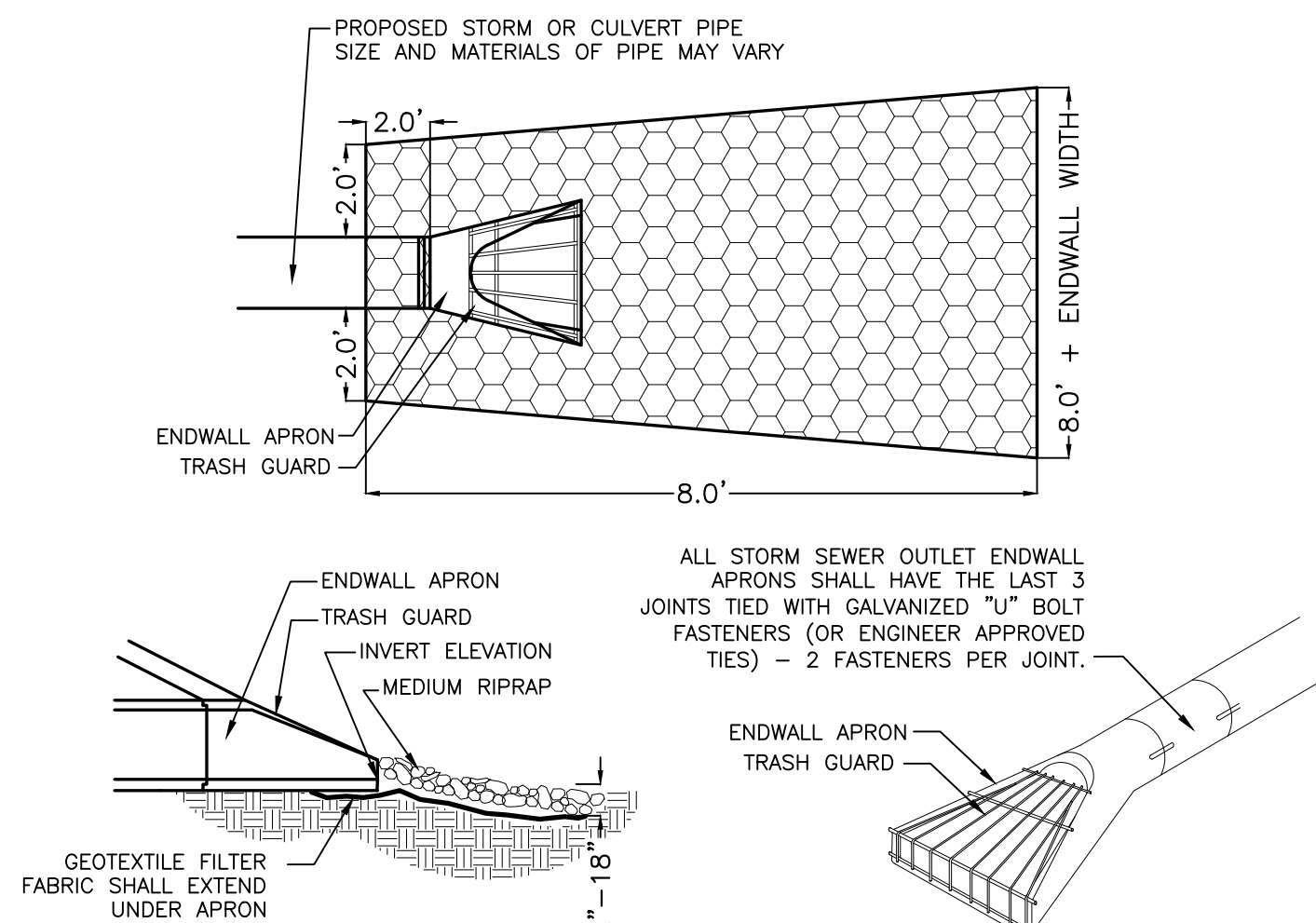
CONCRETE BOLLARD

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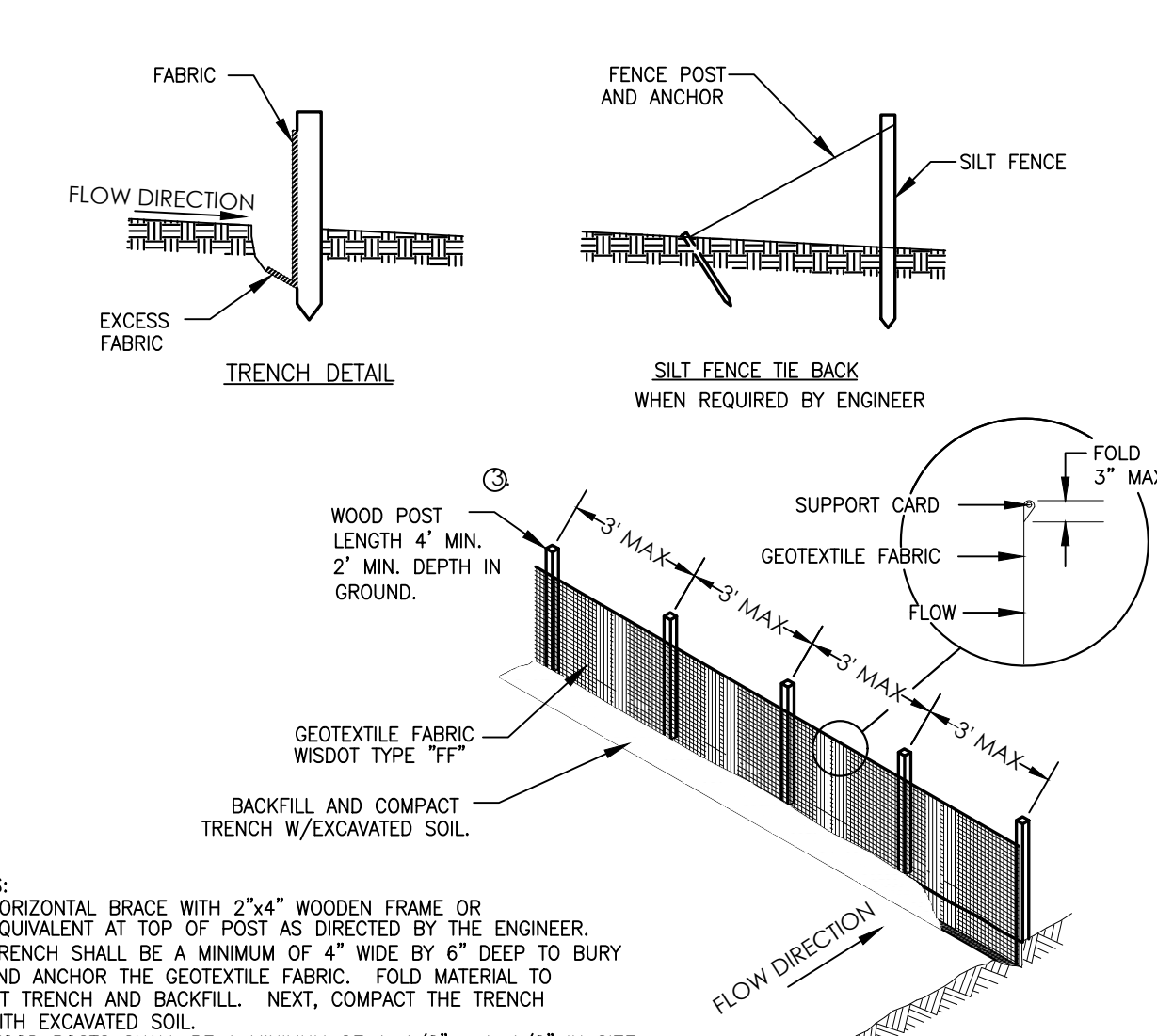
CONCRETE CURB & GUTTER

3
C5.0



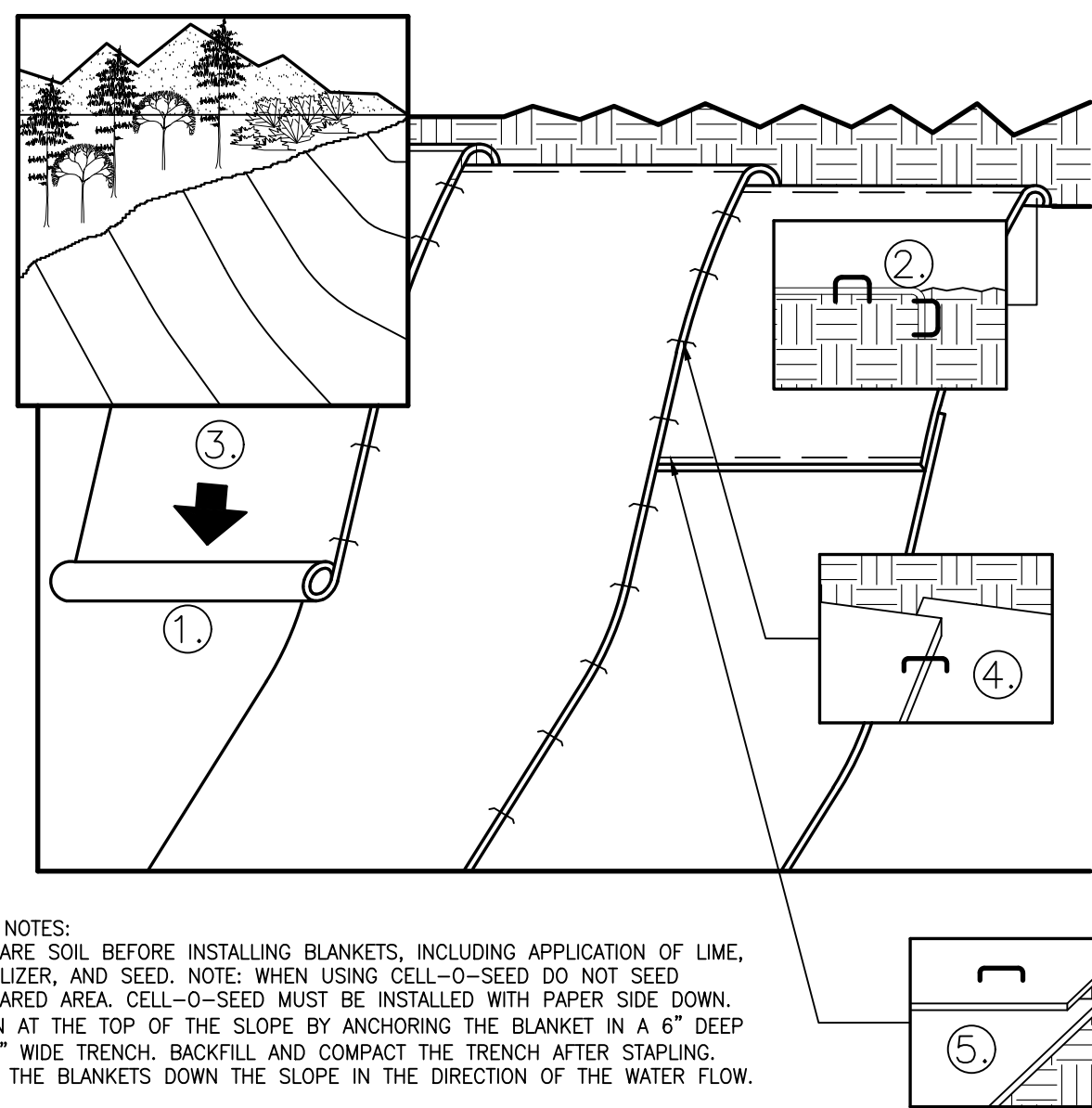
ENDWALL STRUCTURE

4
C5.0



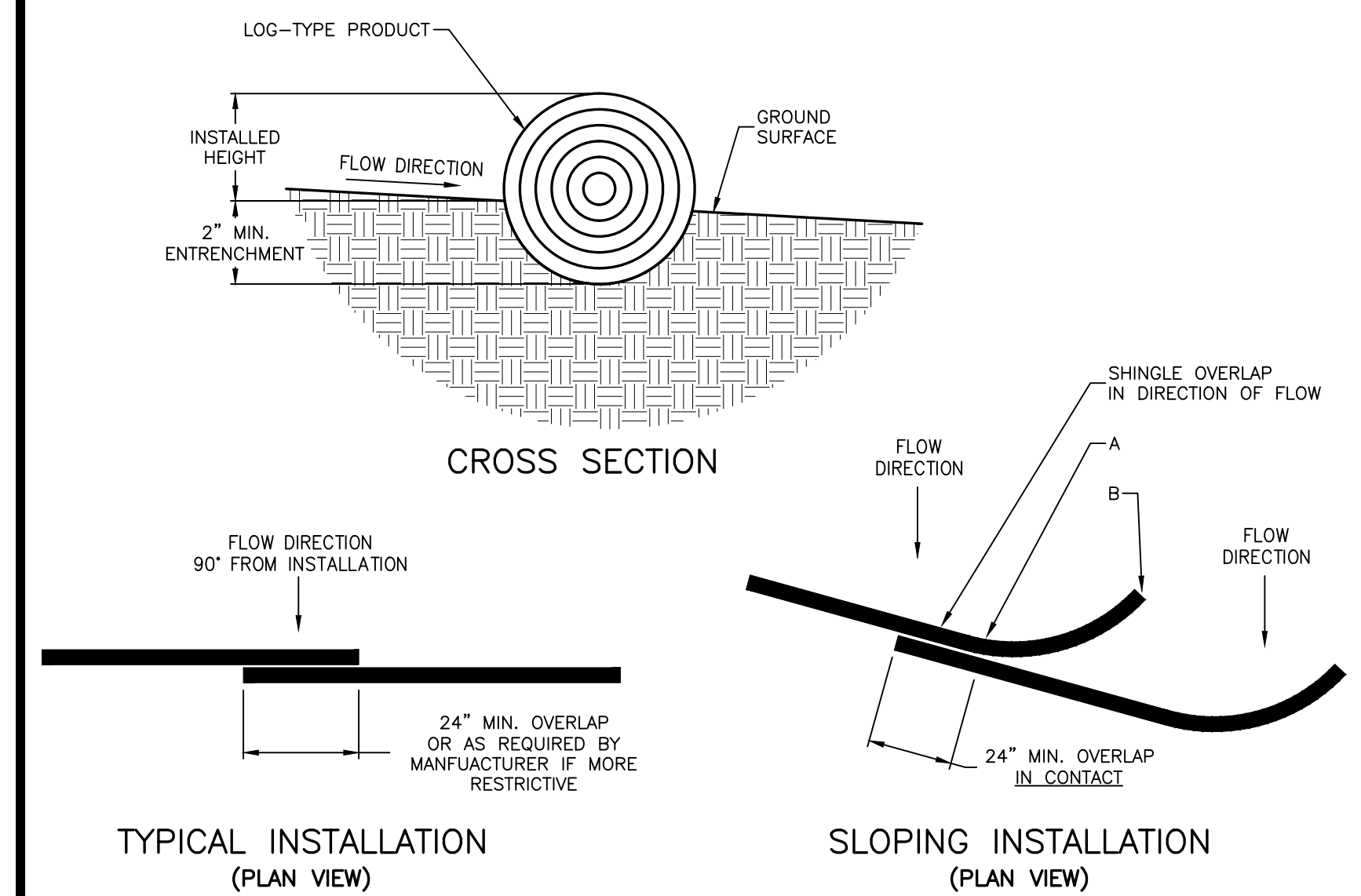
SILT FENCE

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C5.0



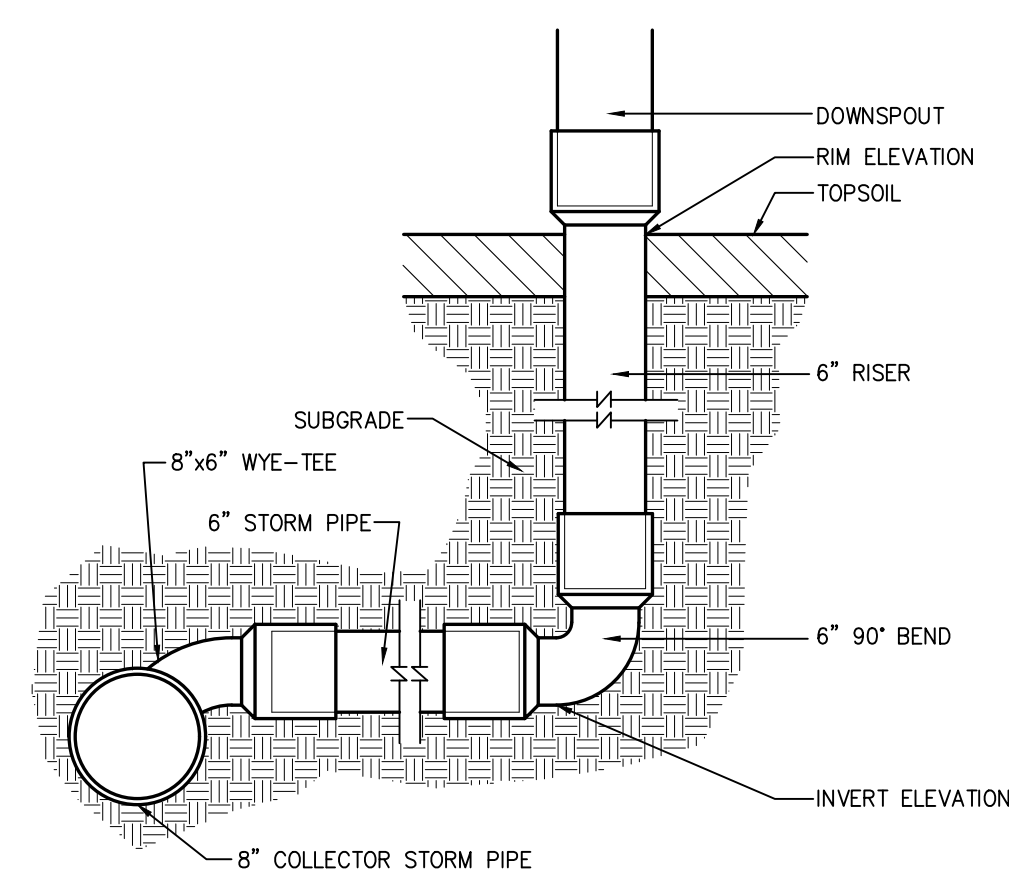
EROSION CONTROL BLANKET

6
C5.0



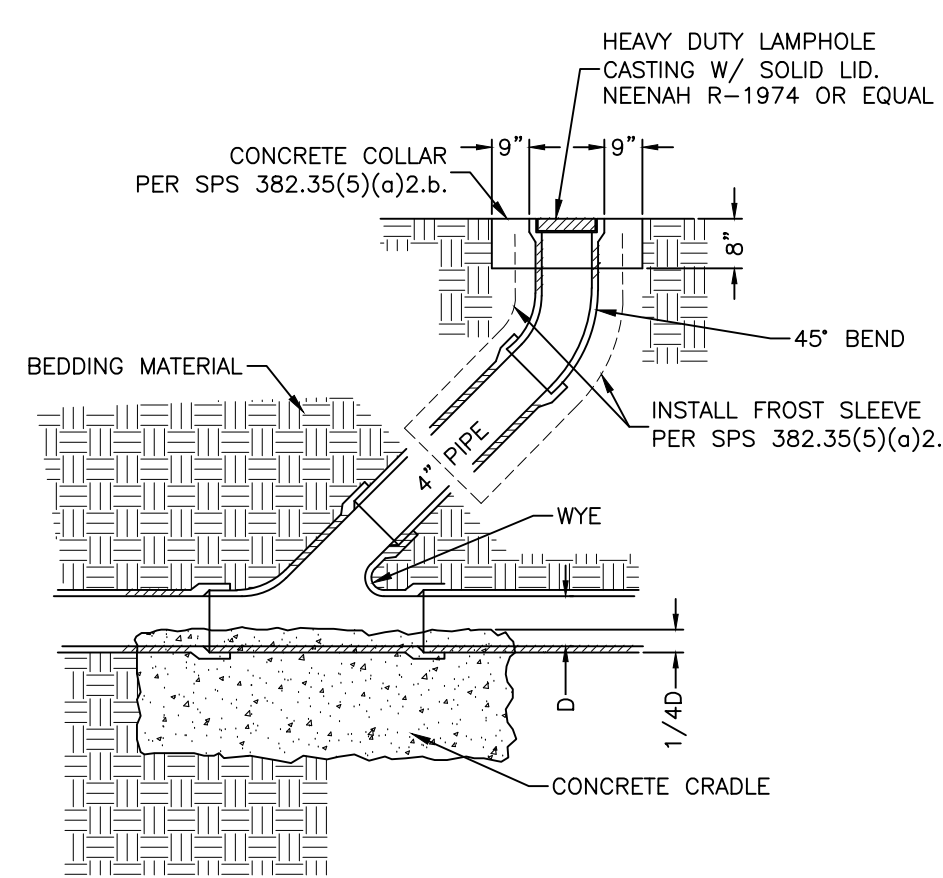
TEMPORARY DITCH CHECK

7
C5.0



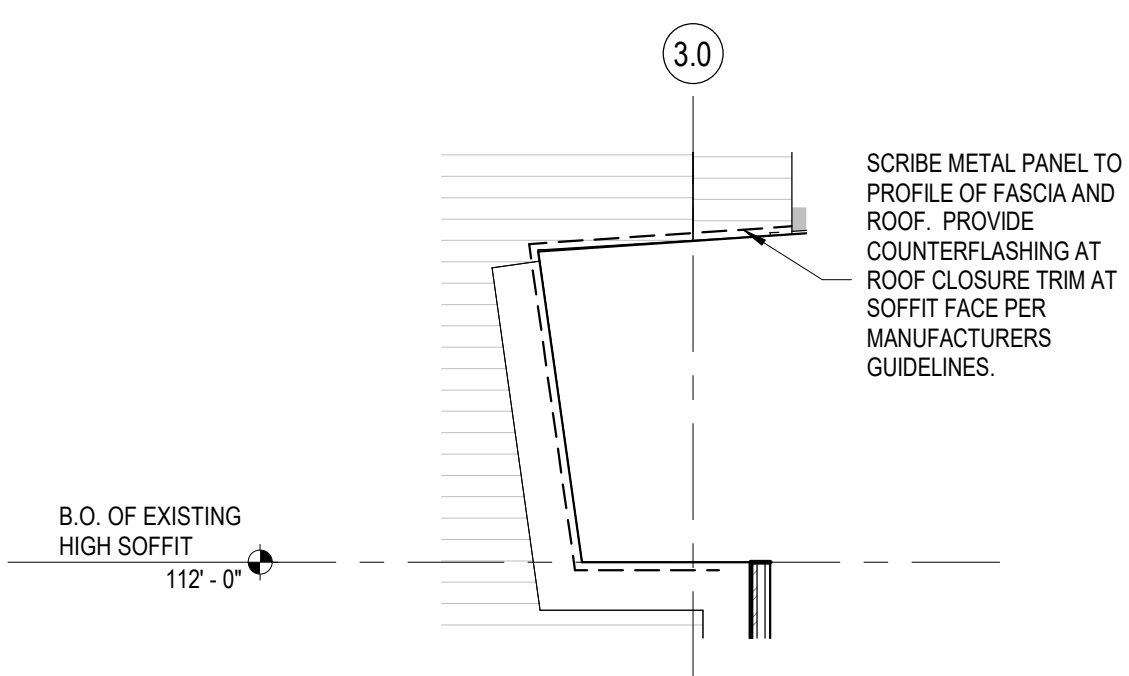
DOWNSPOUT CONNECTION

9
C5.0



STORM CLEANOUT

10
C5.0



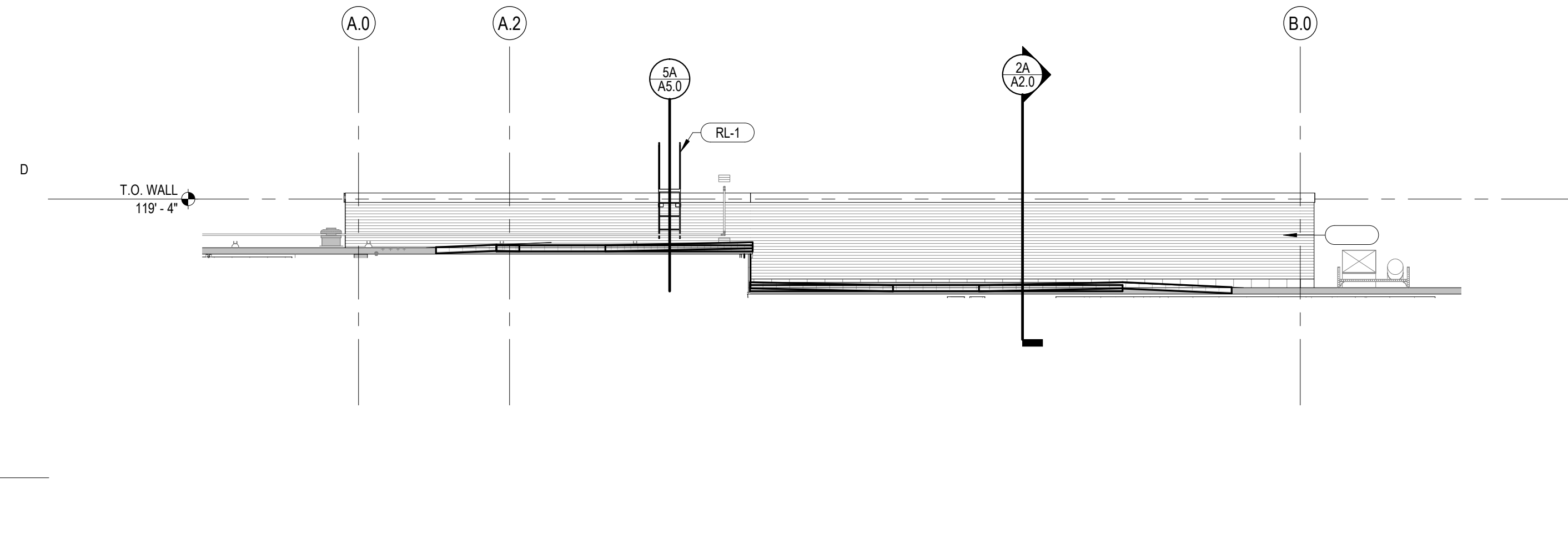
4E SCRIBING DETAIL @ EXISTING FASCIA
A2.0 Scale: 1/2" = 1'-0"

EXTERIOR MATERIAL LEGEND

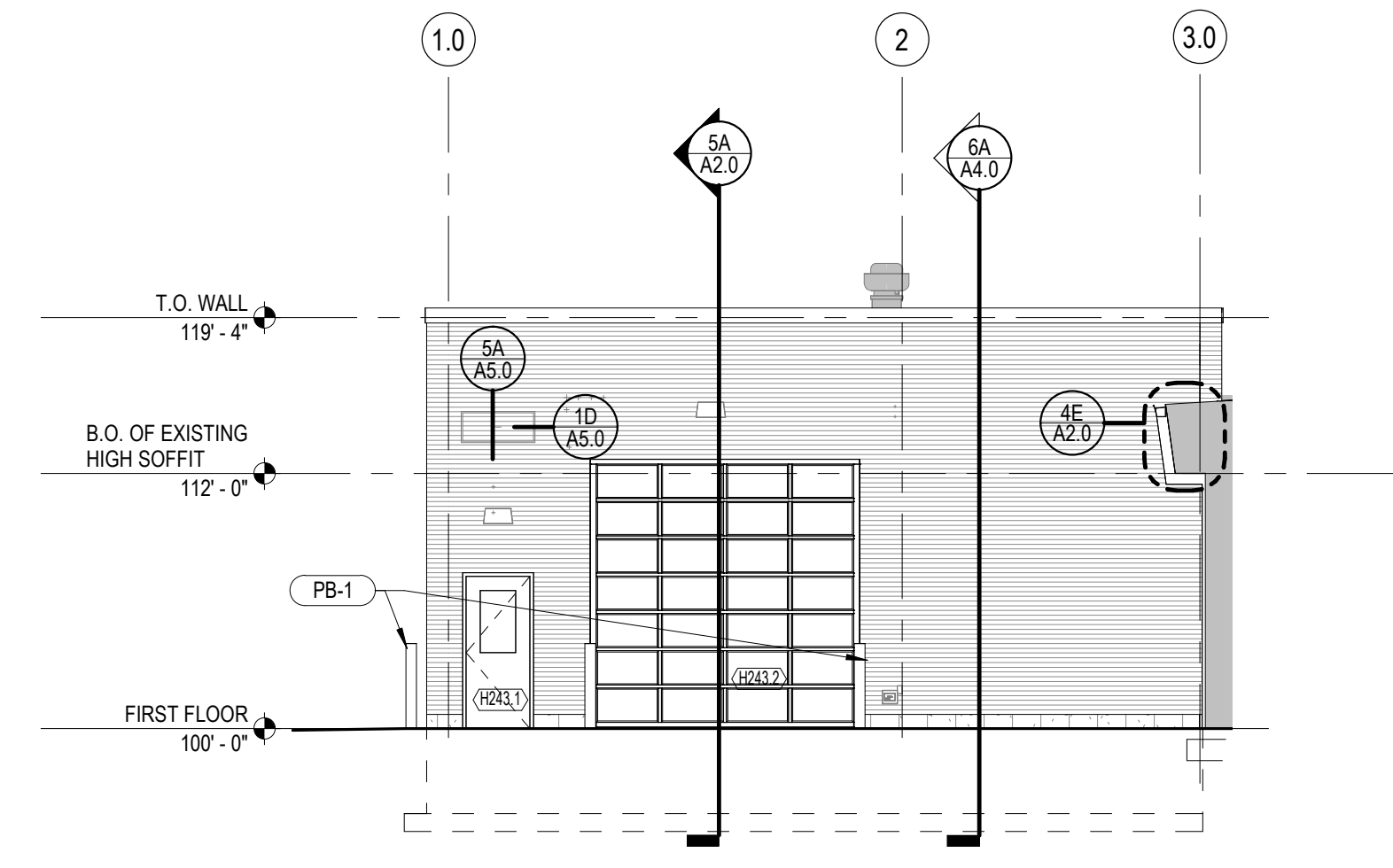
	BB-1: BURNISHED FACE BLOCK
	MP-1: EXPOSED-FASTENER LAP-SEAM METAL WALL PANELS

KEYNOTE LIST

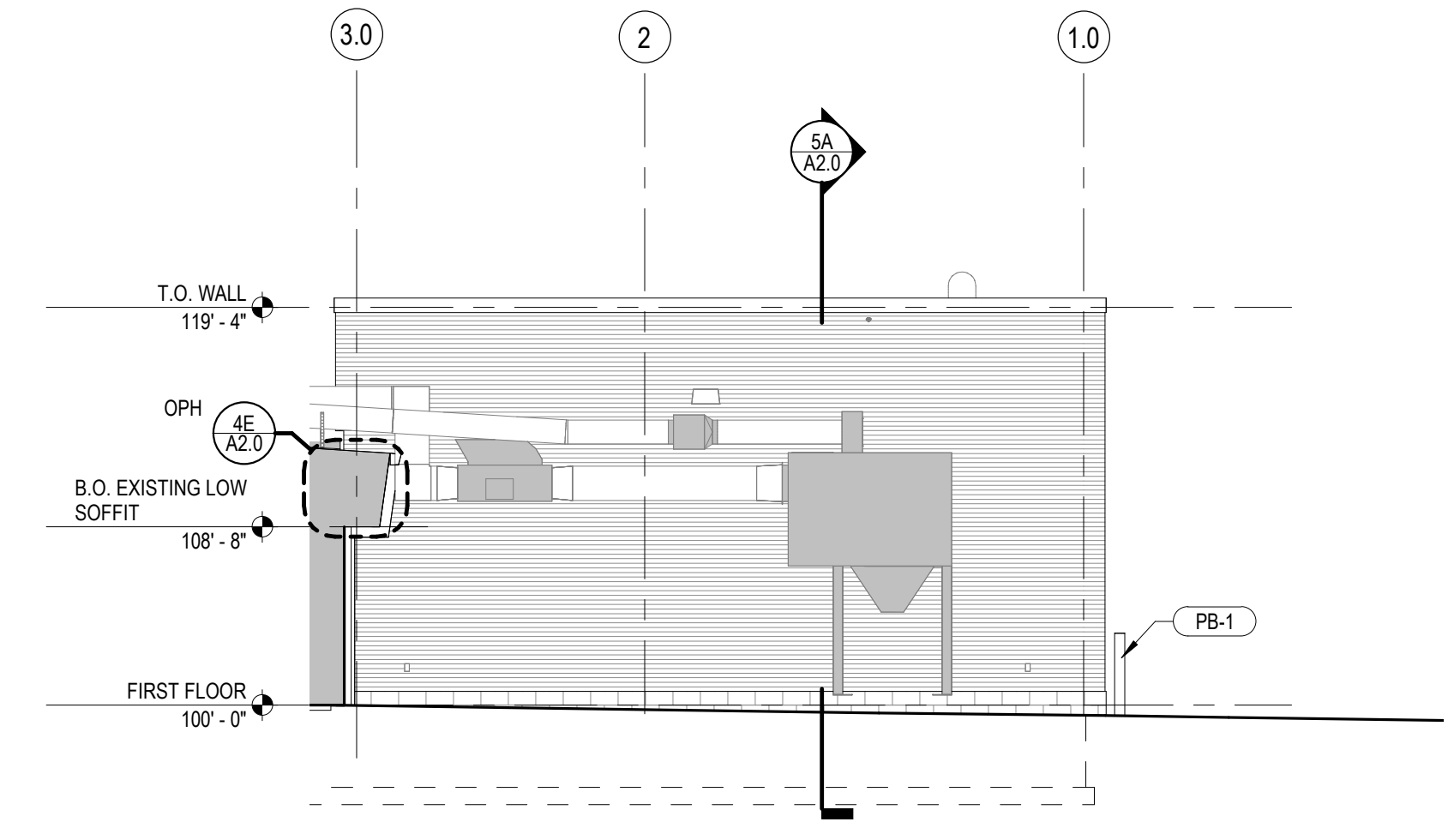
KEY VALUE	KEYNOTE TEXT
MCJ-1	MASONRY CONTROL JOINT (SEE DETAIL 2C/A5.0)
MP-1	EXPOSED-FASTENER LAP-SEAM METAL WALL PANELS
MWB-1	MOBILE WELDING BOOTH
PB-1	PIPE BOLLARD - SEE DTEAIL 2/C.6
RD-2	DOWNSPOUT 6"X6" CONNECTED TO STORMWATER - SEE PLUMBING
RL-1	ROOF LADDER - SEE DETAIL 3C/A5.0



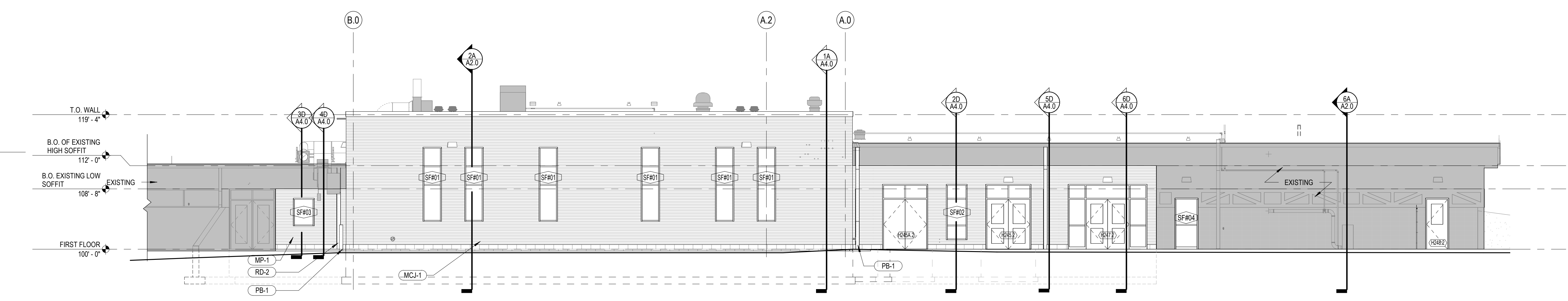
6C EXTERIOR ELEVATION - EAST
A2.0 Scale: 1/8" = 1'-0"



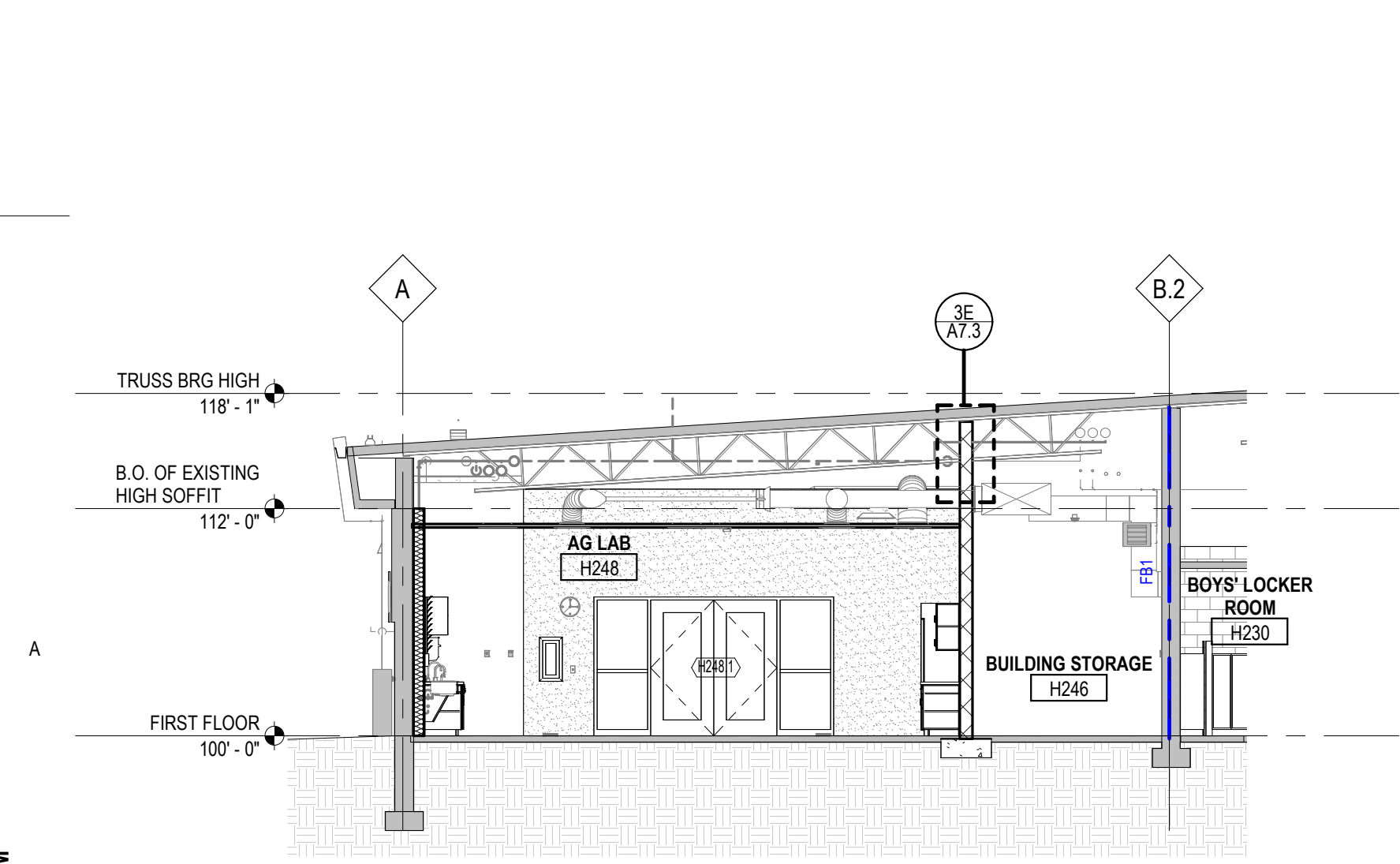
4C EXTERIOR ELEVATION - SOUTH
A2.0 Scale: 1/8" = 1'-0"



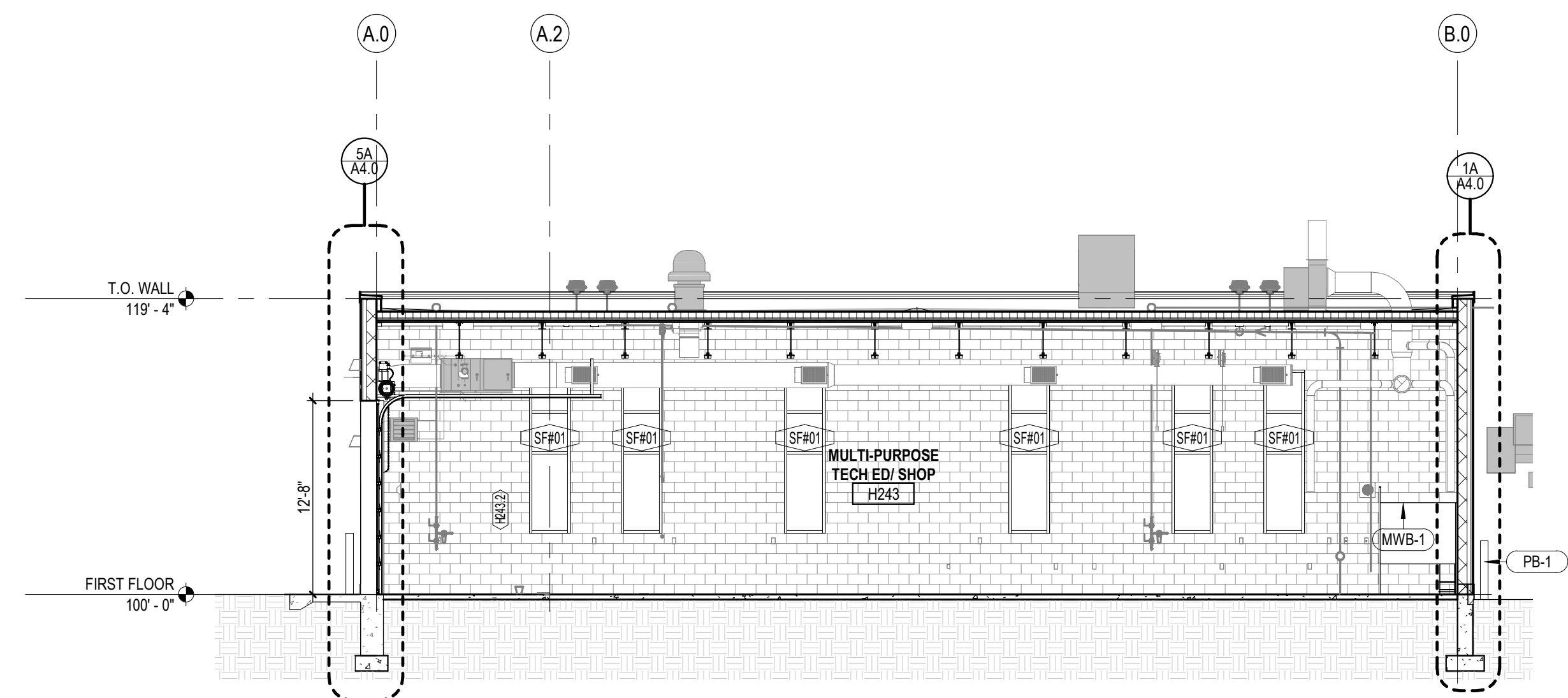
2C EXTERIOR ELEVATION - NORTH
A2.0 Scale: 1/8" = 1'-0"



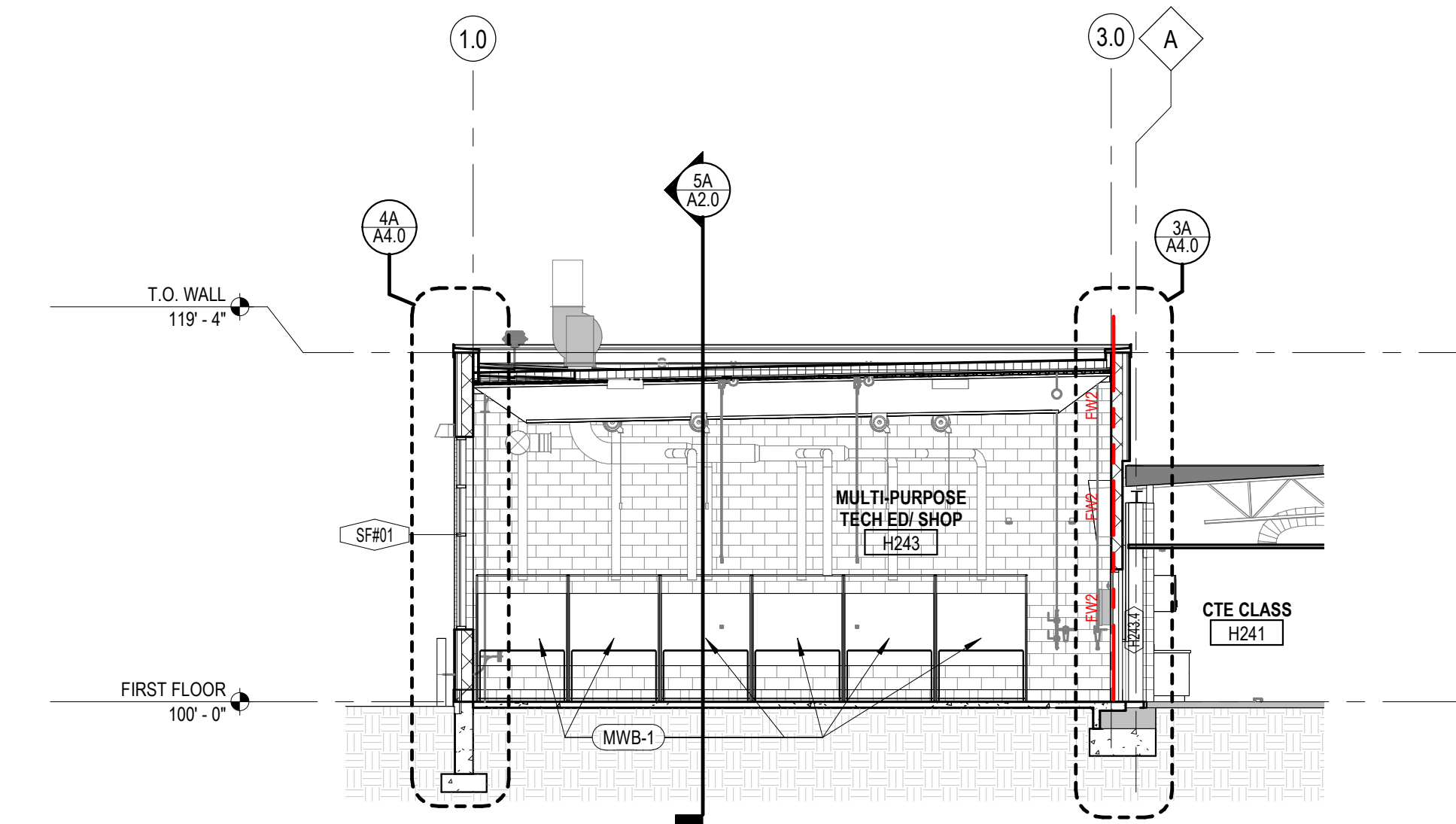
6B EXTERIOR ELEVATION - WEST
A2.0 Scale: 1/8" = 1'-0"



6A BUILDING SECTION @ AG
A2.0 Scale: 1/8" = 1'-0"



5A BUILDING SECTION @ SHOP
A2.0 Scale: 1/8" = 1'-0"



2A BUILDING SECTION @ ADDITION
A2.0 Scale: 1/8" = 1'-0"